

PVD DEVELOPMENT

- PH5 COMMERCIAL BUILDINGS -

10265 SH-30 BRYAN, TEXAS

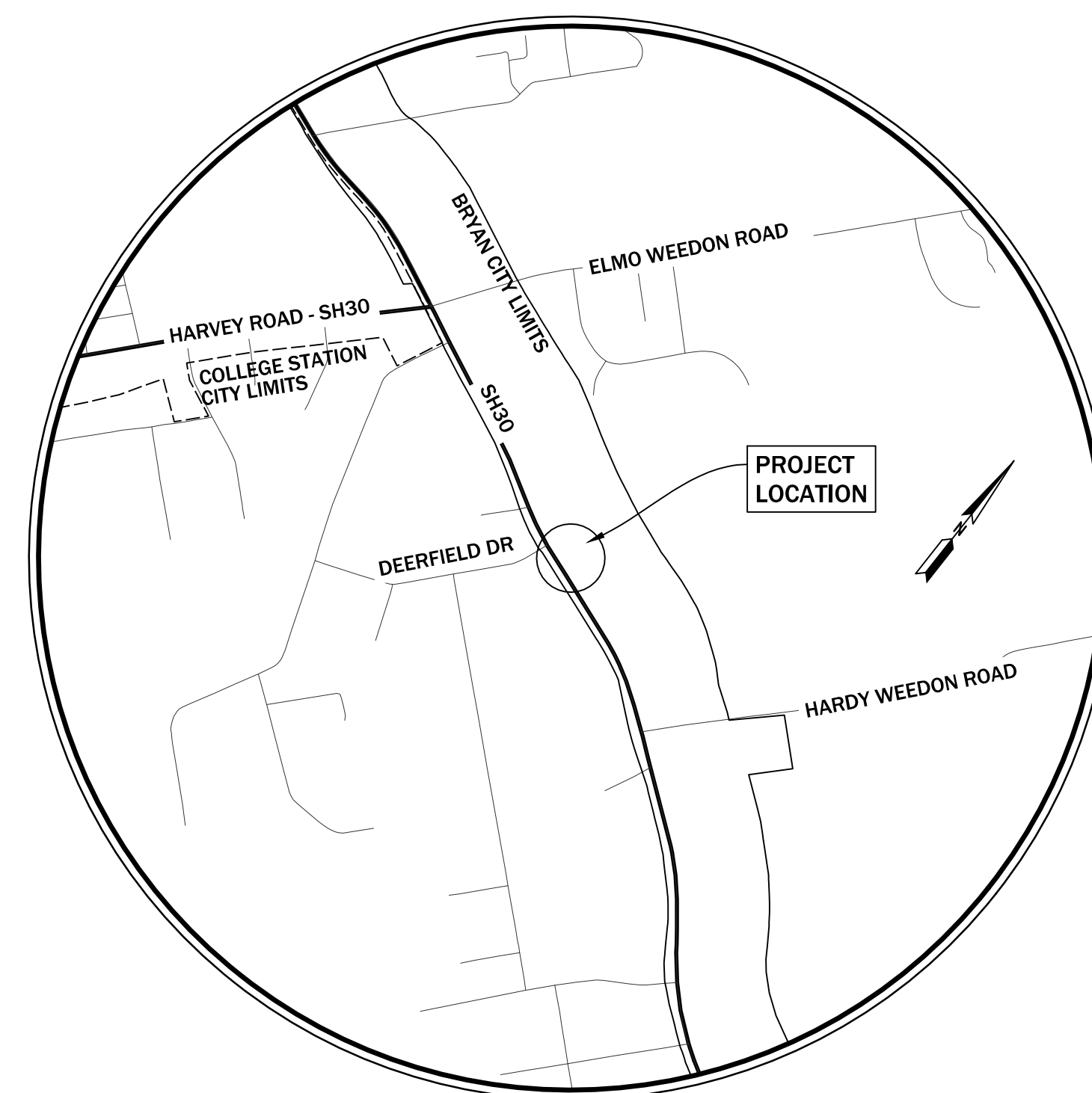
FEBRUARY 2024

DEVELOPER:

PVD DEVELOPMENT CO, LLC
C/O STEVE VAUGHAN
5222 ENCHANTED OAKS DRIVE
COLLEGE STATION, TEXAS 77845
(979) 225-3222

OWNER:

1983 LAND INVESTMENTS, LLC
4090 STATE HIGHWAY 6 SOUTH
COLLEGE STATION, TEXAS 77845



VICINITY MAP

NTS

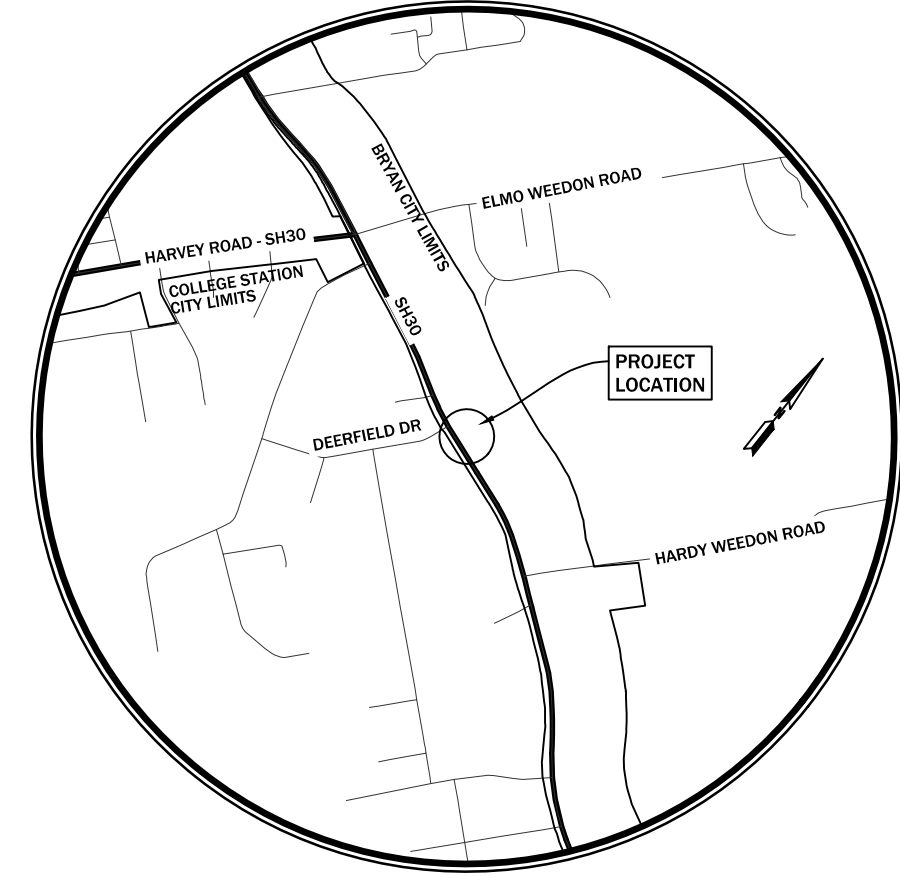
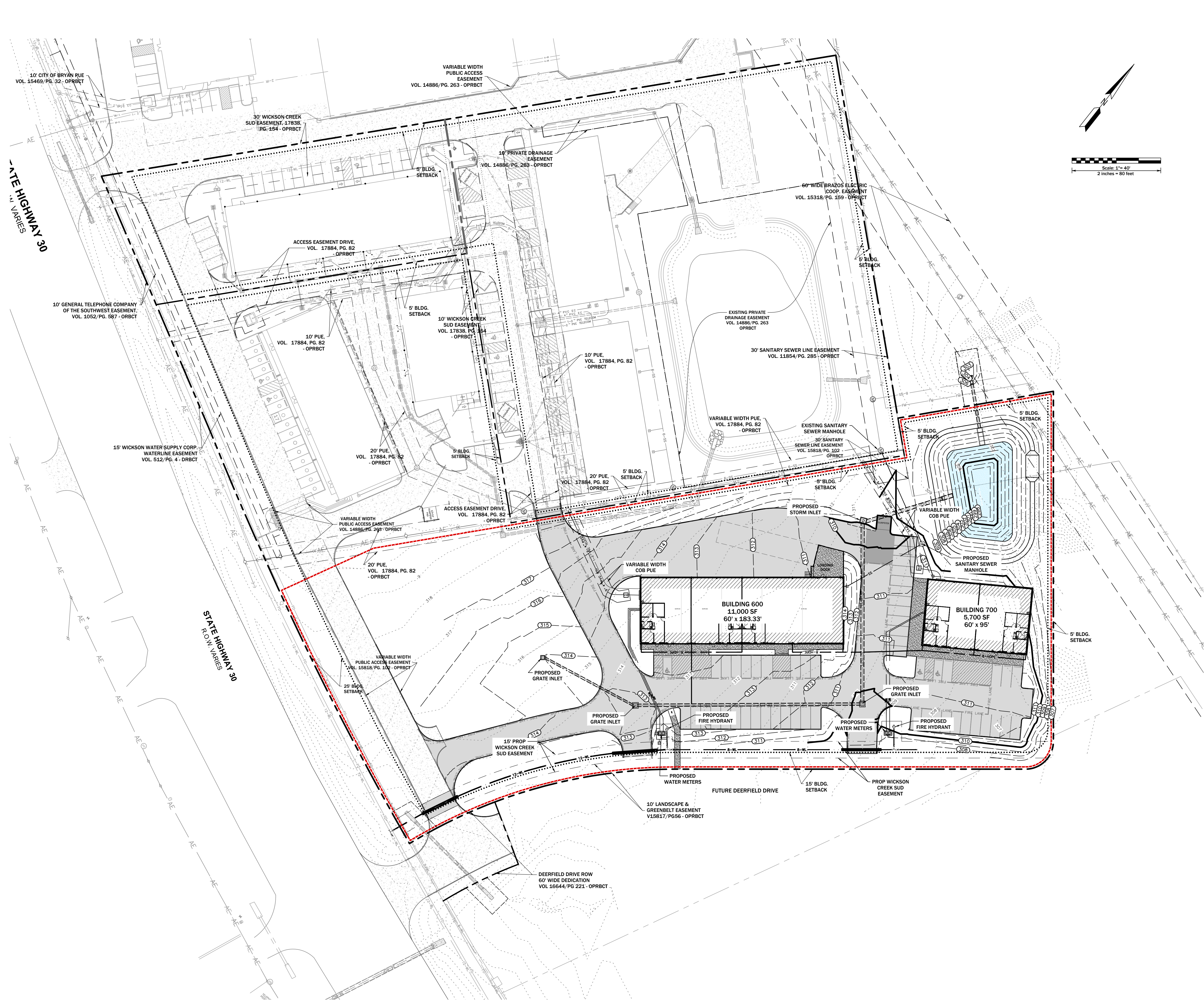
ENGINEER:

MITCHELL & MORGAN, L.L.P.
3204 EARL RUDDER FREEWAY S.
COLLEGE STATION, TEXAS 77845
(979) 260-6963

INDEX OF SHEETS

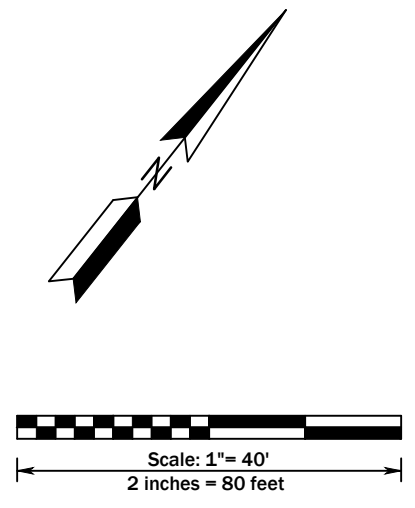
OV - OVERALL SITE PLAN
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WL2 - PROPOSED PRIVATE WATERLINES & WATERLINE DETAILS
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VICINITY MAP
NTS

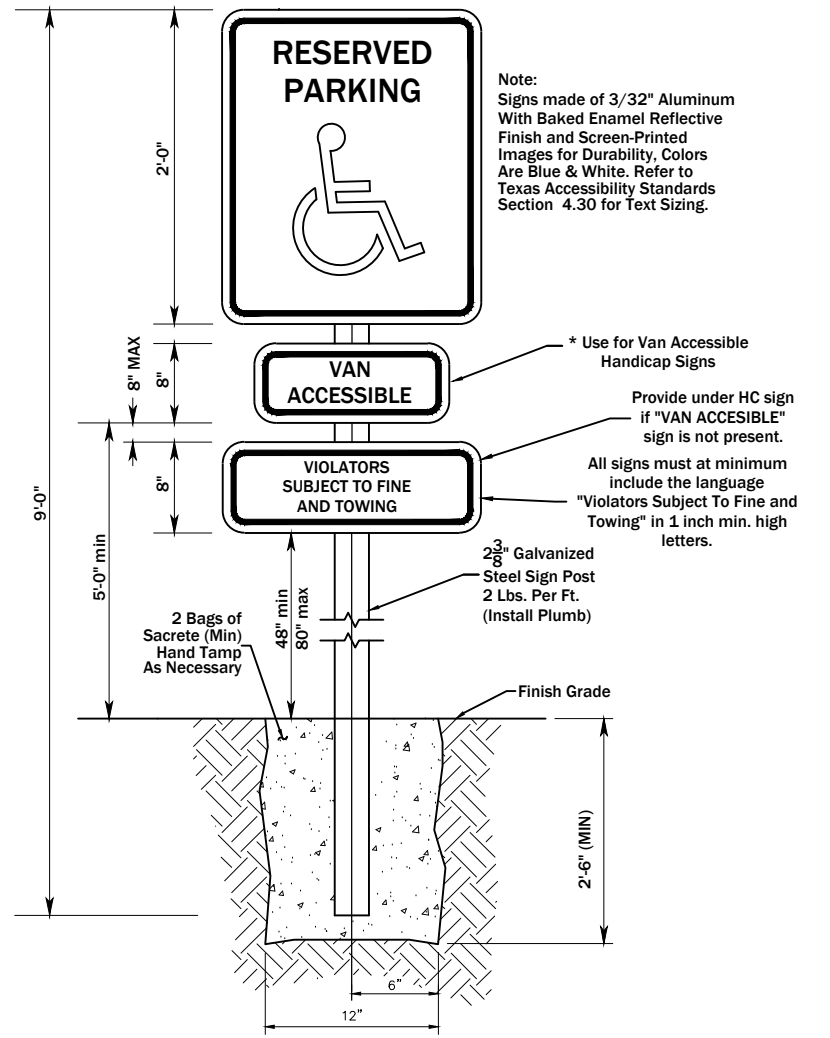
- EXISTING PAVEMENT
- SIDEWALK/LOADING CONCRETE
- STANDARD PAVEMENT



- GENERAL CONSTRUCTION NOTES:**
- It shall be the responsibility of the Contractor to verify the exact location of ALL existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
 - a. Contact Dig Toss @ 1-800-344-8377
 - b. Contact Corey Leonard @ ATMOS 288-4939
 - c. Contact Don Augustur @ Suddensink 204-8263
 - d. Contact Brandon Charanzo @ BTU 821-5770
 - e. Contact Leslie Carroll @ Frontier 821-4761
 - All construction shall be in accordance with the current City of Bryan Standard Specifications for Street Construction, B/C/S Unified Technical Specifications, Water and Sewer and Generals, 2012, and BCS Unified Design Details. All inspection shall be performed by the staff of the City Engineer of Bryan. All construction shall be coordinated with the City of Bryan City Engineer.
 - In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Engineer & Architect for any substitution prior to construction. Requests for changes should include product information and an engineer's seal where applicable. The contractor shall be financially responsible for the engineer's time spent reviewing changes and redesigning based on contractor's requests.
 - Trench Safety Requirements shall be in accordance with O.S.H.A. Standard 29 CFR Part 1926 Subpart P and all federal, state and local regulations.
 - TRENCHING AND BACKFILLING: All trenching and backfilling shall conform to the specifications set out herein. Testing shall be provided by a certified laboratory, at the Owner's expense, to verify these standards. Any retesting due to substandard work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and shall extend 5' beyond the curb lines of all streets, alleys and parking areas.
 - It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with BTU. All materials identified as a Separate Bid Item shall be considered subsidiary to the item in which it is used. All materials and equipment shall be both furnished and installed unless otherwise noted.
 - The Contractor must provide construction staking from the information provide on these plans.
 - All soil exposed by construction shall receive hydromulch or sod in accordance with the landscape plan.
 - Trenches may not be left open overnight.
 - Adjustment of Water Meters, Valves, Manholes, Irrigation Systems, and any other Public or Private Utility, etc. are not separate pay items. The Price of the adjustment shall be subsidiary to the construction of Sewer Line, Force Main, etc.
 - The contractor shall coordinate with Atmos, Suddensink Communications, BTU, and Frontier to adjust the location of existing facilities.
 - Temporary spoil areas will be identified on site by owner.
 - Contractor shall provide parking lot striping in accordance with the layout shown on this plans.
 - All storm sewer being constructed with this site plan is private.
 - Cross slope and running slope of curb ramps serving the Accessible Parking shall comply with ICC A117.1 - 2009 Accessibility Standards. Maximum cross slope 1:48 (2.08%) and maximum running slope 1:12 (8.33%).
 - Contractor shall strip topsoil from the site prior to construction and stockpile and protect from contamination from other soils for later use onsite by the landscape contractor.

Prepared For:
PVD Development Co. LLC
5222 Enchanted Oasis Dr.
College Station, TX 77845
(979) 225-2222

Revisions



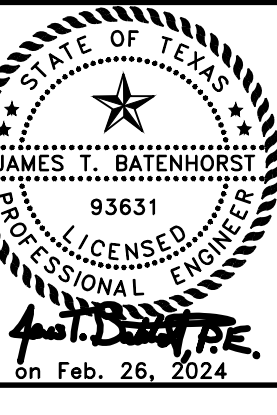
- NOTE: INSTALL ONE SIGN PER LOCAL ORDINANCE. UNAUTHORIZED VEHICLES PARK IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHED PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE FINED.**
- SIGN INSTALLATION NOTES:**
- All signs shall maintain heights specified but shall be mounted to the building in lieu of the sign post.
 - The sign shall be installed so that the bottom of each sign shall be at least four (4) feet above the ground at the base of the signpost or above an adjacent roadway. All signposts shall be installed 24 inches from the roadway.
 - The hardware used to attach the signs to the signposts shall be the same as that currently used by the city.
 - Signs shall be positioned facing perpendicular to the parking stall.

VAN ACCESSIBLE HANDICAP SIGN INSTALLATION DETAIL



T.979.260.6963
F.979.260.3564
TX. FIRM # F-1443
3204 EARL RUDDER FWY. S.
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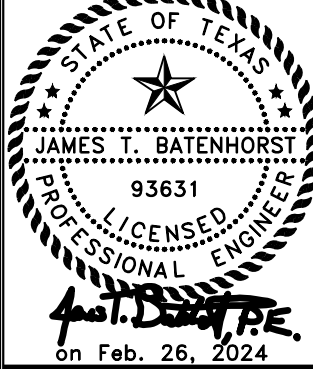


FEBRUARY 2023
Drawn By: JB, JT, SB
Checked By: JZM

5.484 AC LOT 3, BLK 4 OF THE
PVD DEVELOPMENT SUBDIVISION

**OVERALL SITE PLAN
PHASE 5 - COMMERCIAL BUILDING
SH30 - BRYAN**

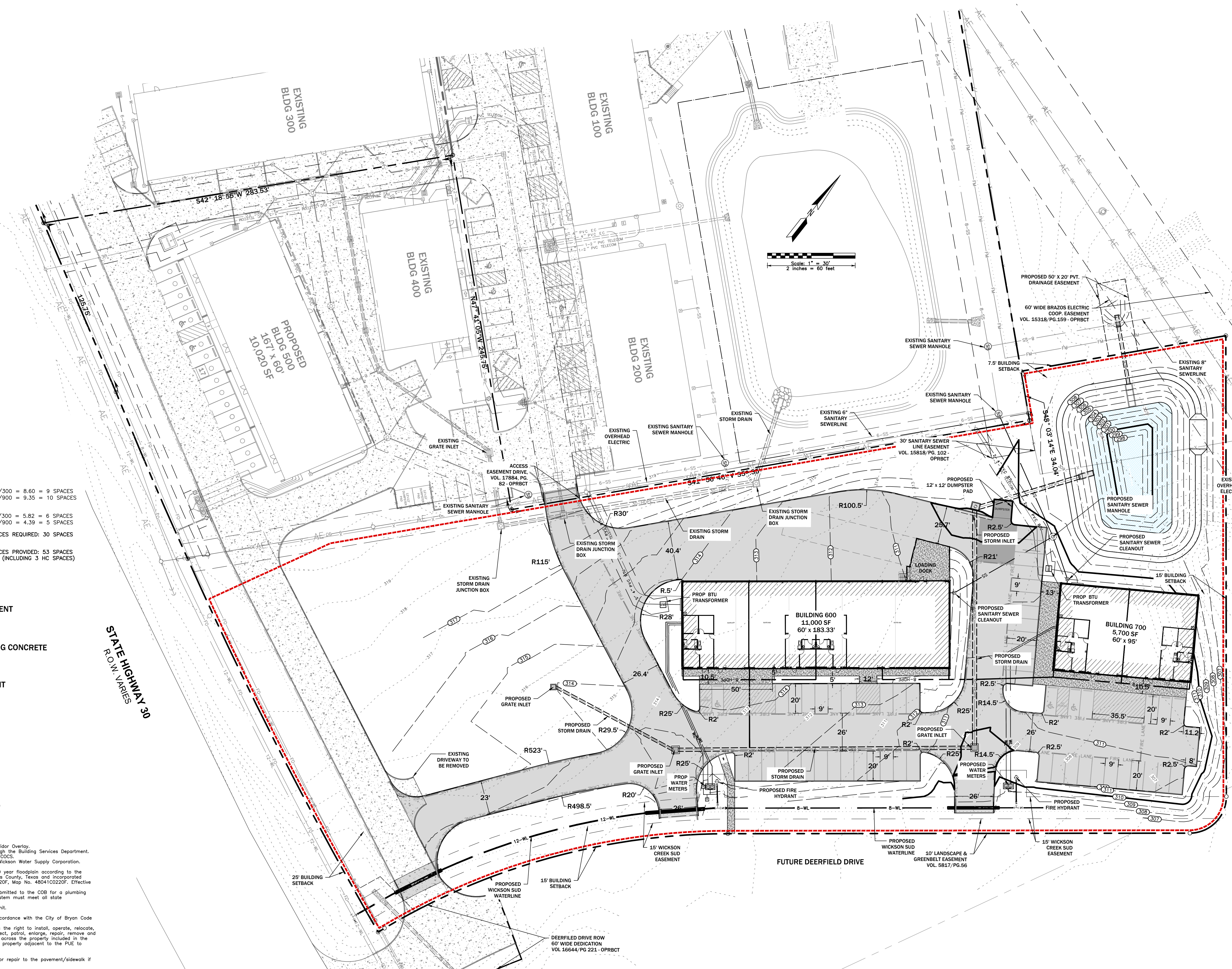




Revisions

SITE PLAN
PHASE 5 - COMMERCIAL BUILDING
SH30 - BRYAN

SP



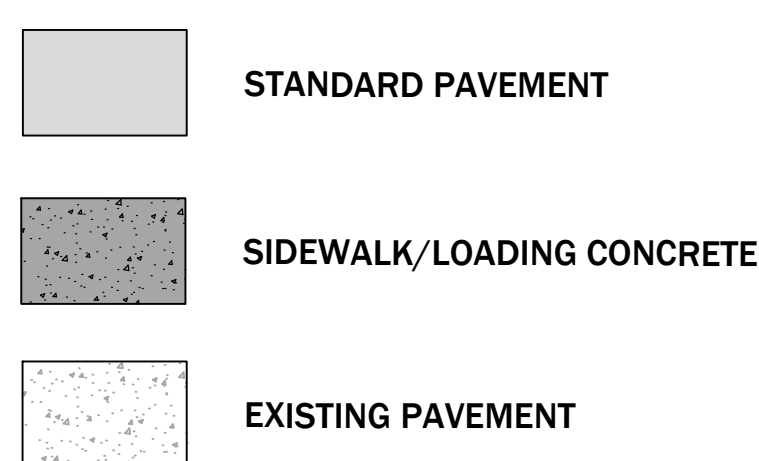
PHASE 5 - PARKING LEGEND:

PARKING REQUIRED:

BUILDING 600:	
OFFICE S.F. (1/300):	2,581 S.F./300 = 8.60 = 9 SPACES
WAREHOUSE S.F. (1/900):	8,419 S.F./900 = 9.35 = 10 SPACES
BUILDING 700:	
OFFICE S.F. (1/300):	1,746 S.F./300 = 5.82 = 6 SPACES
WAREHOUSE S.F. (1/900):	3,954 S.F./900 = 4.39 = 5 SPACES
	TOTAL SPACES REQUIRED: 30 SPACES

PARKING PROVIDED:

TOTAL SPACES PROVIDED: 53 SPACES
(INCLUDING 3 HC SPACES)

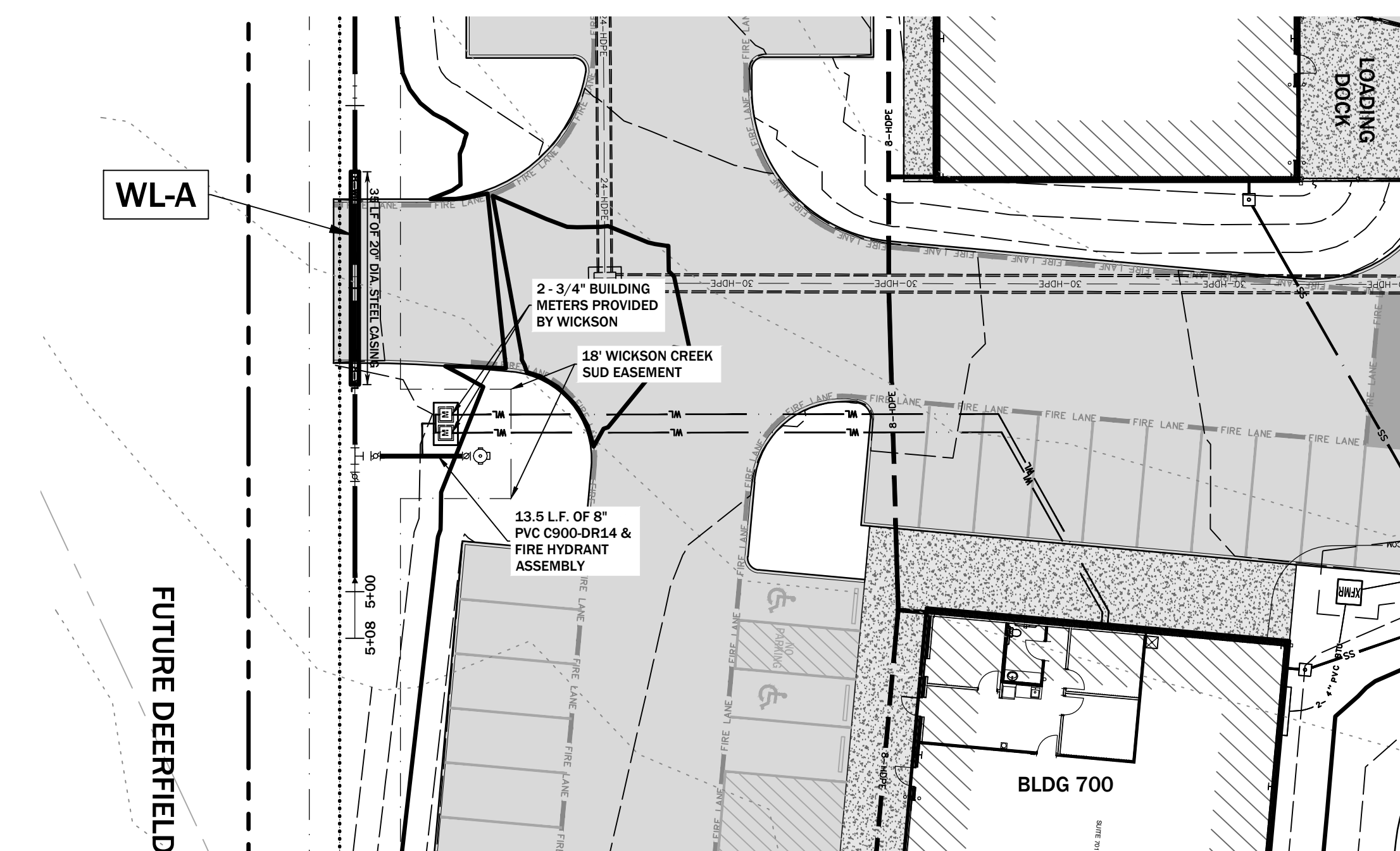
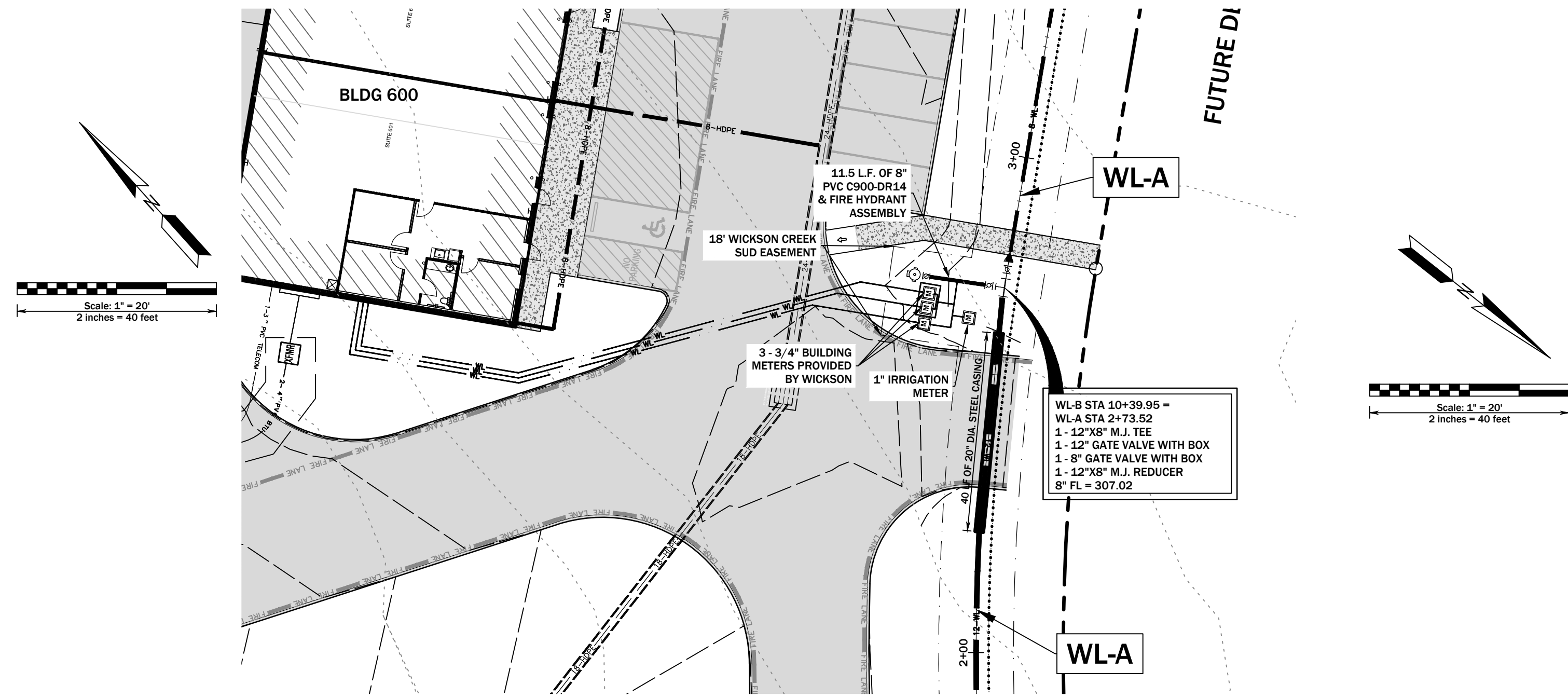


- SITE PLAN NOTES:**
- Name of Project: PHS Commercial Buildings
 - Legal: PVD Development, Block 1, Lot 3
 - Address: 10256 State Hwy 30
 - Owner: PVD Development Co., LLC
Mark Dennard & Steve Vaughan
5222 Enchanted Oaks Drive
College Station TX 77845
 - Engineer: Mitchell & Morgan, L.L.P.
3204 Earl Rudder Fwy. S.
College Station, Texas 77845
(979) 260-6963
 - Zoning: C-3 Commercial
 - Existing Use: Undeveloped-Vacant
 - Proposed Use: Commercial Buildings for lease
 - Setbacks: Per City of Bryan Ordinances
 - Site Area: 2.96 Acres
 - Water Demands: Min.=00 gpm, Avg.=07 gpm, Peak=28 gpm
 - Sanitary Demands: Avg.=0,040 GPD, MAX.=20,160 GPD
 - This project is located within the FM1518 Corridor Overlay.
 - All Signage will be permitted separately through the Building Services Department.
 - Sewer for this property is being provided by COCS.
 - Water to this property is being provided by Wickson Water Supply Corporation.
 - All Storm Sewer on this plan is private.
 - The subject tract does not lie within the 100 year floodplain according to the F.E.M.A. Flood Insurance Rate Maps for Brazos County, Texas and incorporated areas. Community No. 480083, Panel No. 0220F, Map No. 48041C0220F. Effective Date: April 2, 2014.
 - A separate sealed irrigation plan must be submitted to the COB for a plumbing permit prior to installation. The irrigation system must meet all state requirements, including backflow prevention.
 - All private plumbing requires a plumbing permit.
 - Each building is one story tall.
 - All minimum building setbacks shall be in accordance with the City of Bryan Code of Ordinances.
 - Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on property adjacent to the PUE to access electric facilities.
 - Impervious cover for this phase = 85%.
 - Owner or future owner shall be responsible for repair to the pavement/sidewalk if waterline is repaired by Wickson Creek SUD.

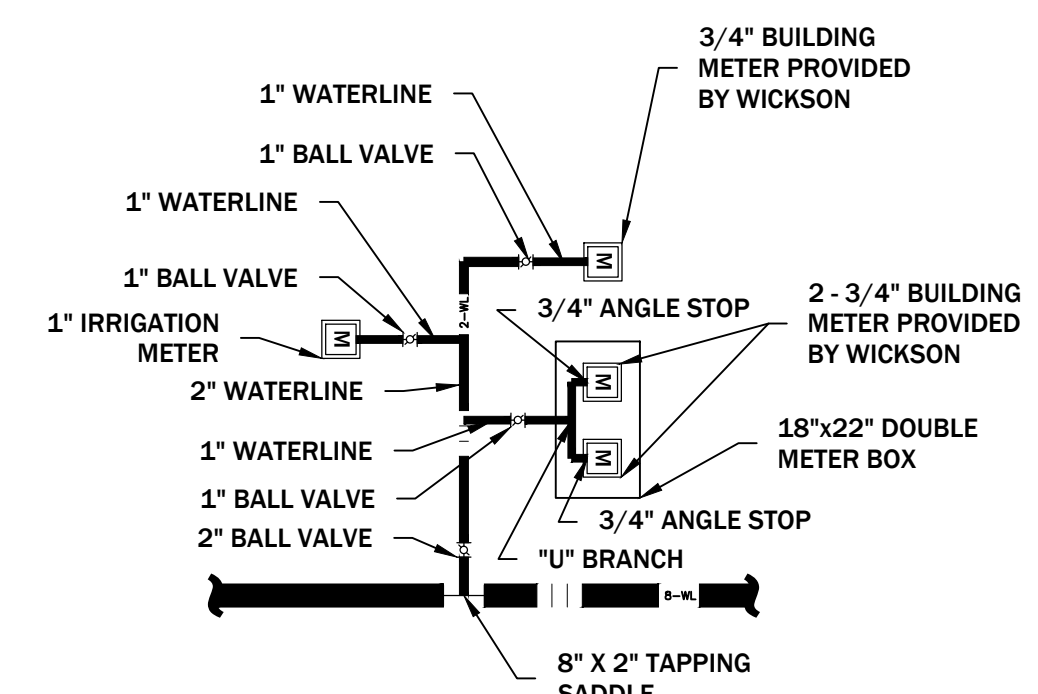
STATE HIGHWAY 30
R.O.W. VARIES

FUTURE DEERFIELD DRIVE

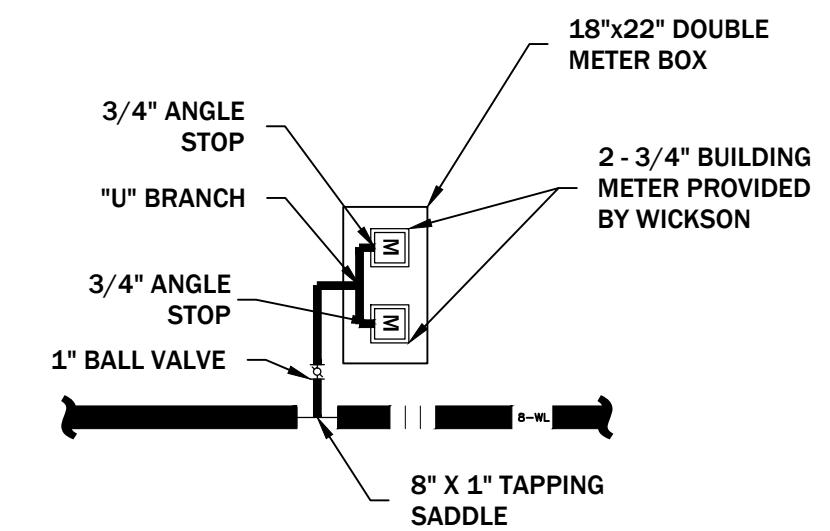
DEERFIELD DRIVE ROW
60' WIDE DEDICATION
VOL 16644/PG 221 -OPRBT



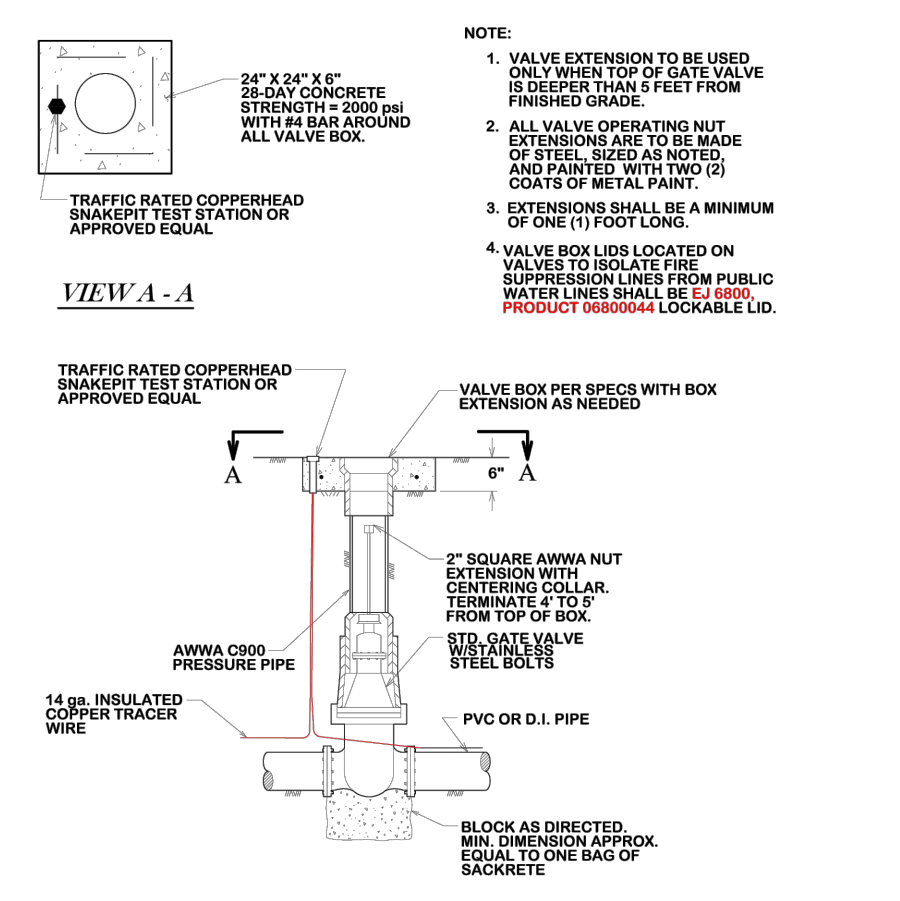
- NOTES:
1. Refer to note regarding class pipe.
 2. Do NOT use fused pipe.
 3. Contact Kyle Egpler in the Wickson Creek Water Supply Corporation prior to any waterline construction work.
 Kyle Egpler: (C) (979) 219-7814
 4. 5 domestic meters are provided to two buildings. See details for meter boxes.



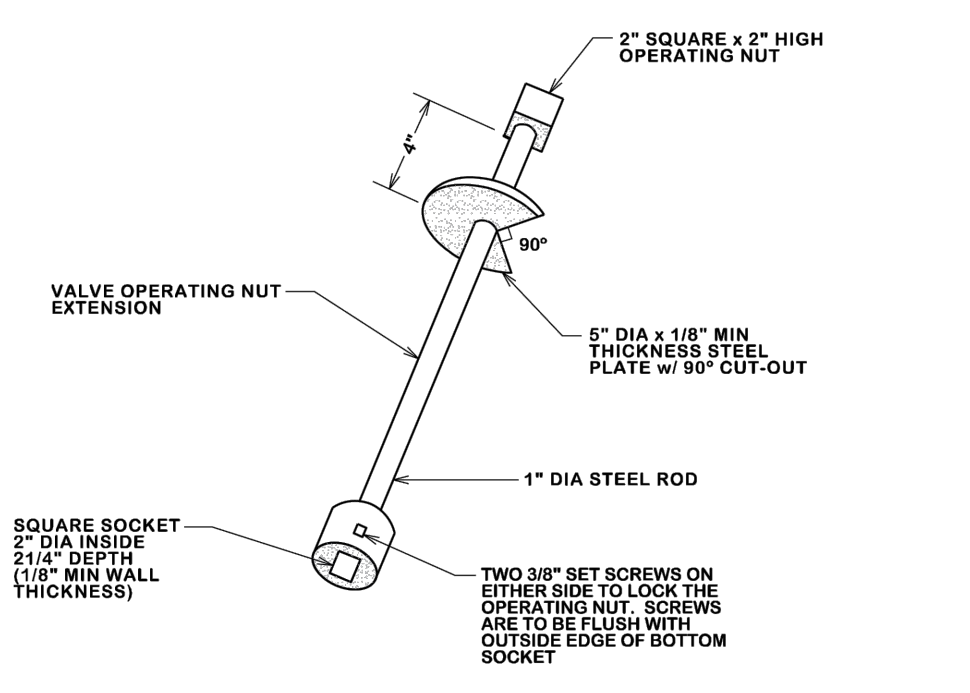
CONNECTION AT METER BOXES BLDG 600
N.T.S.



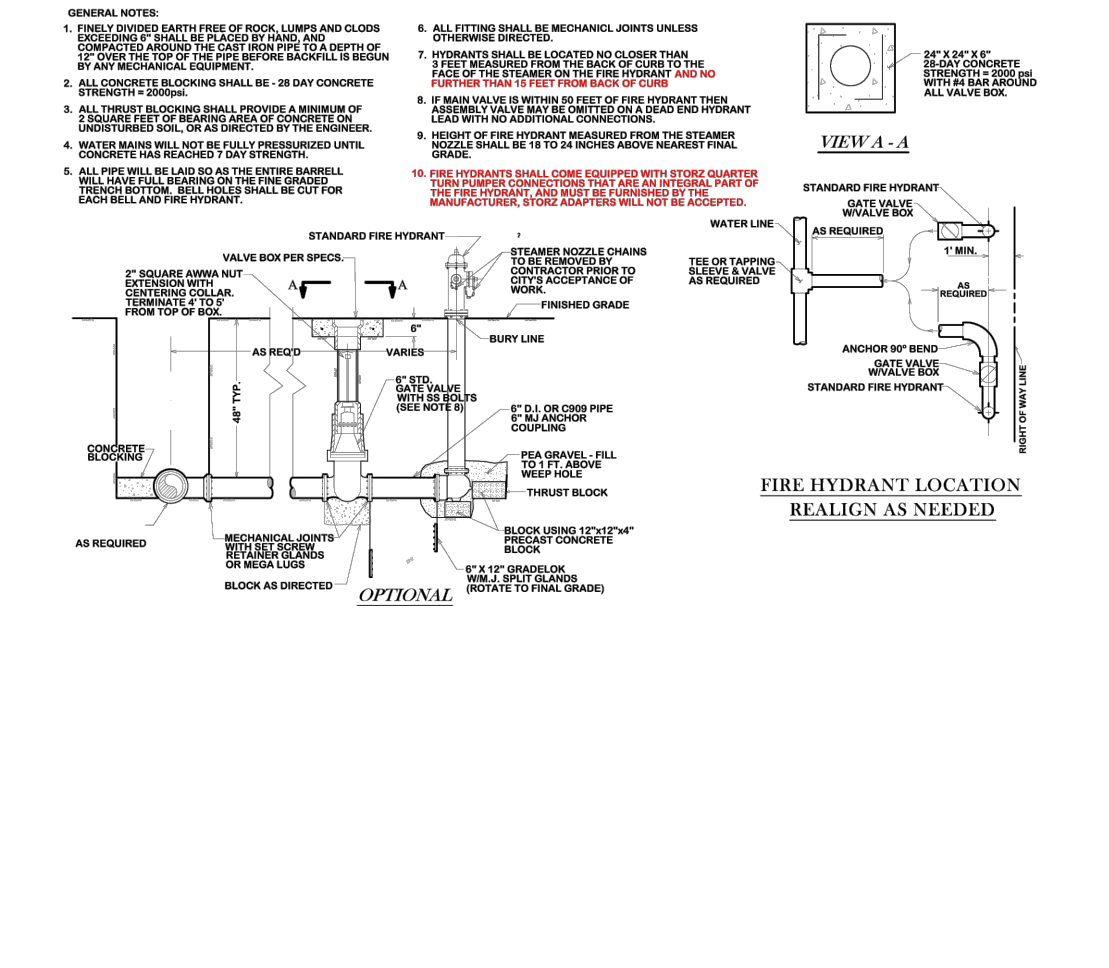
CONNECTION AT METER BOXES BLDG 700
N.T.S.



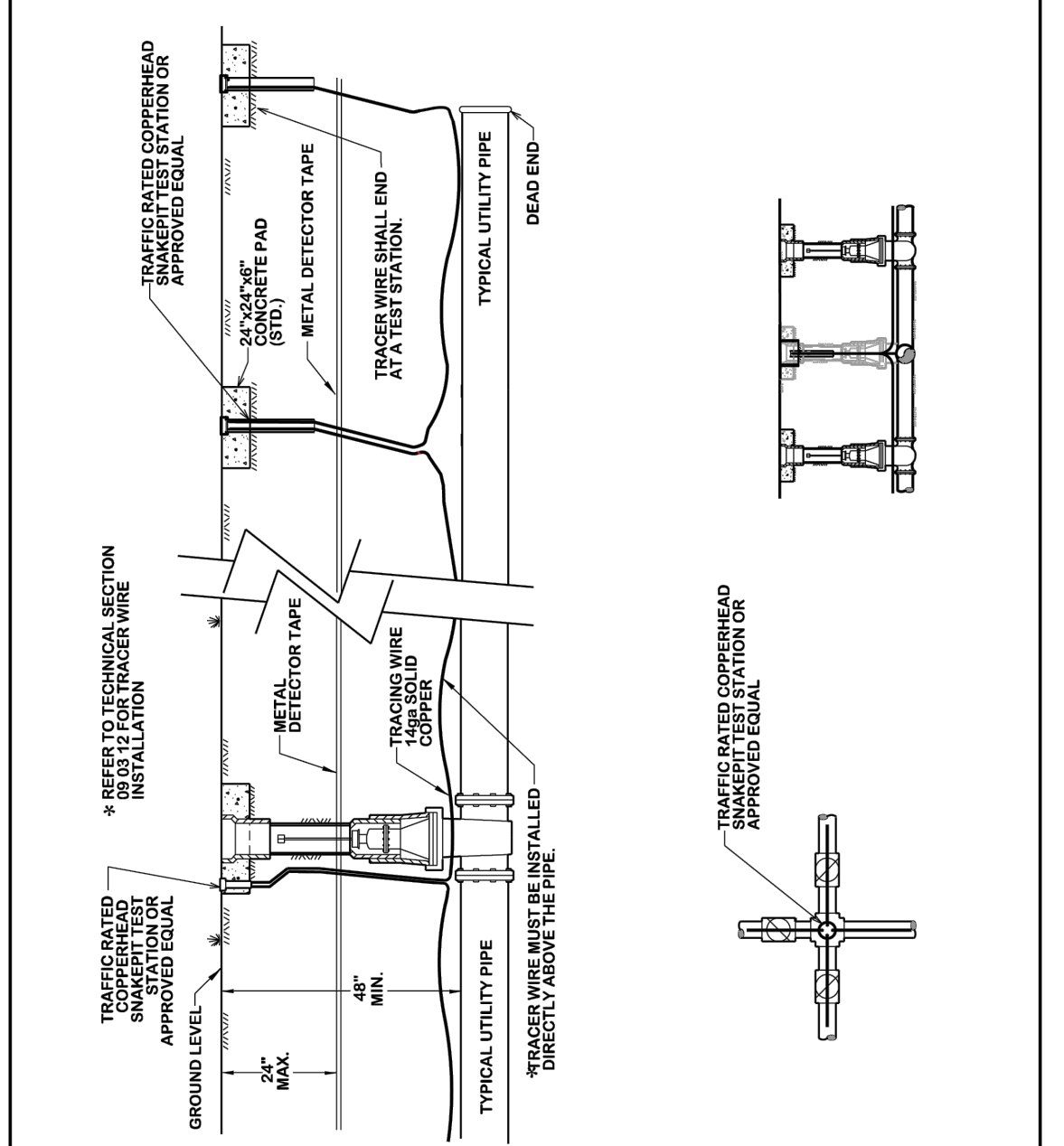
GATE VALVE & BOX
DATE: FEB. 2021
B/C'S UNIFIED STANDARD DETAIL: W1-00
CITY OF BRYAN
CITY OF COLLEGE STATION



GATE VALVE EXTENSION
DATE: AUG. 2012
B/C'S UNIFIED STANDARD DETAIL: W1-01
CITY OF BRYAN
CITY OF COLLEGE STATION



STANDARD FIRE HYDRANT ASSEMBLY
DATE: DECEMBER 2020
B/C'S UNIFIED STANDARD DETAIL: W1-02
CITY OF BRYAN
CITY OF COLLEGE STATION



UTILITY LOCATION MATERIALS
DATE: AUG. 2012
B/C'S UNIFIED STANDARD DETAIL: W1-03
CITY OF BRYAN
CITY OF COLLEGE STATION

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PLAN & DESIGN SPECIALISTS IN CIVIL ENGINEERING, HYDRAULICS, HYDROLOGY, UTILITIES, STREETS, SITE PLANS, SUBDIVISIONS
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JAMES T. BATENHORST
LICENSED PROFESSIONAL ENGINEER
93631
on Feb. 26, 2024

FEBRUARY 2023
Drawn By: JB, JT, SB
Checked By: JB

Prepared For:
PVD Development Co. LLC
5222 Enchanted Oasis Dr.
College Station, TX 77845
(979) 225-3222
5.484 AC LOT 3, BLK 4 of the PVD DEVELOPMENT SUBDIVISION

Revisions

PROPOSED PRIVATE WATERLINES AND WATERLINE DETAILS
PHASE 5 - COMMERCIAL BUILDING
SH30 - BRYAN

WL2

NOTE: USE POLYETHYLENE WRAP OR EQUAL BETWEEN CONCRETE & PLUG TO PREVENT CONCRETE FROM STICKING TO PLUG.

THRUST BLOCK NOTES:

1. ALL CALCULATIONS ARE BASED ON INTERNAL PRESSURE OF 200 psi FOR 24" AND SMALLER INNER DIAMETER PIPE.
2. ALL BEARING SURFACES OF THRUST BLOCKS SHALL BE PLACED AGAINST UNDISTURBED EARTH OR ROCK.
3. CONCRETE FOR BLOCKING SHALL BE 2000 psi.
4. DIMENSIONS MAY BE VARIED AS REQUIRED BY FIELD WHERE AND AS DIRECTED BY THE ENGINEER. THE VOLUME OF CONCRETE BLOCKING SHALL NOT BE LESS THAN SHOWN HERE.
5. WATER MAIN SHALL NOT BE PRESSURIZED UNTIL ALL CONCRETE BLOCKING HAS REACHED 1000 psi.

TEE THRUST BLOCK

TEE SCHEDULE		
ID (IN)	THRUST (LBS)	VOLUME (CU YD)
4.88	5.1	1.51
6.62	11.5	1.51

HORIZONTAL THRUST BLOCK SCHEDULE						
BEND	SIZE	A	B	C	E	G
90°	6.8"	5.0	1.5	1.5	0.9	2.7
	10.12"	6.5	2.5	1.5	1.2	4.0
45°	6.8"	2.0	2.0	1.5	0.9	1.5
	10.12"	3.5	2.5	1.5	1.2	2.2
22.5°	6.8"	1.5	1.5	1.5	0.9	0.8
	10.12"	2.0	2.5	1.5	1.2	1.1
11.25°	6.8"	1.0	1.5	1.5	0.9	0.4
	10.12"	1.5	1.5	1.2	0.6	0.1

THRUST BLOCK DETAILS

SECTION A-A

TYPICAL HORIZONTAL THRUST BLOCK

DATE: **AUG. 2012** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W2-00** | CITY OF COLLEGE STATION

NEW WATER SERVICE (SHORT AND LONG SIDE)

DATE: **JAN. 2009** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W2-01** | CITY OF COLLEGE STATION

STRUCTURAL BACKFILL AREA FOR WATER MAIN

DATE: **AUG. 2012** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W2-02** | CITY OF COLLEGE STATION

CASING DETAIL

DATE: **AUG. 2012** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W2-03** | CITY OF COLLEGE STATION

END OF LINE BLOCKING

DATE: **AUG. 2012** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W3-00** | CITY OF COLLEGE STATION

TYPICAL URBAN CITY STREET CROSSING

DATE: **AUG. 2012** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W4-00** | CITY OF COLLEGE STATION

BEDDING AND TRENCH FOR DI PIPE & PVC PIPE WITHIN NON-STRUCTURAL OR NEW PAVED AREAS

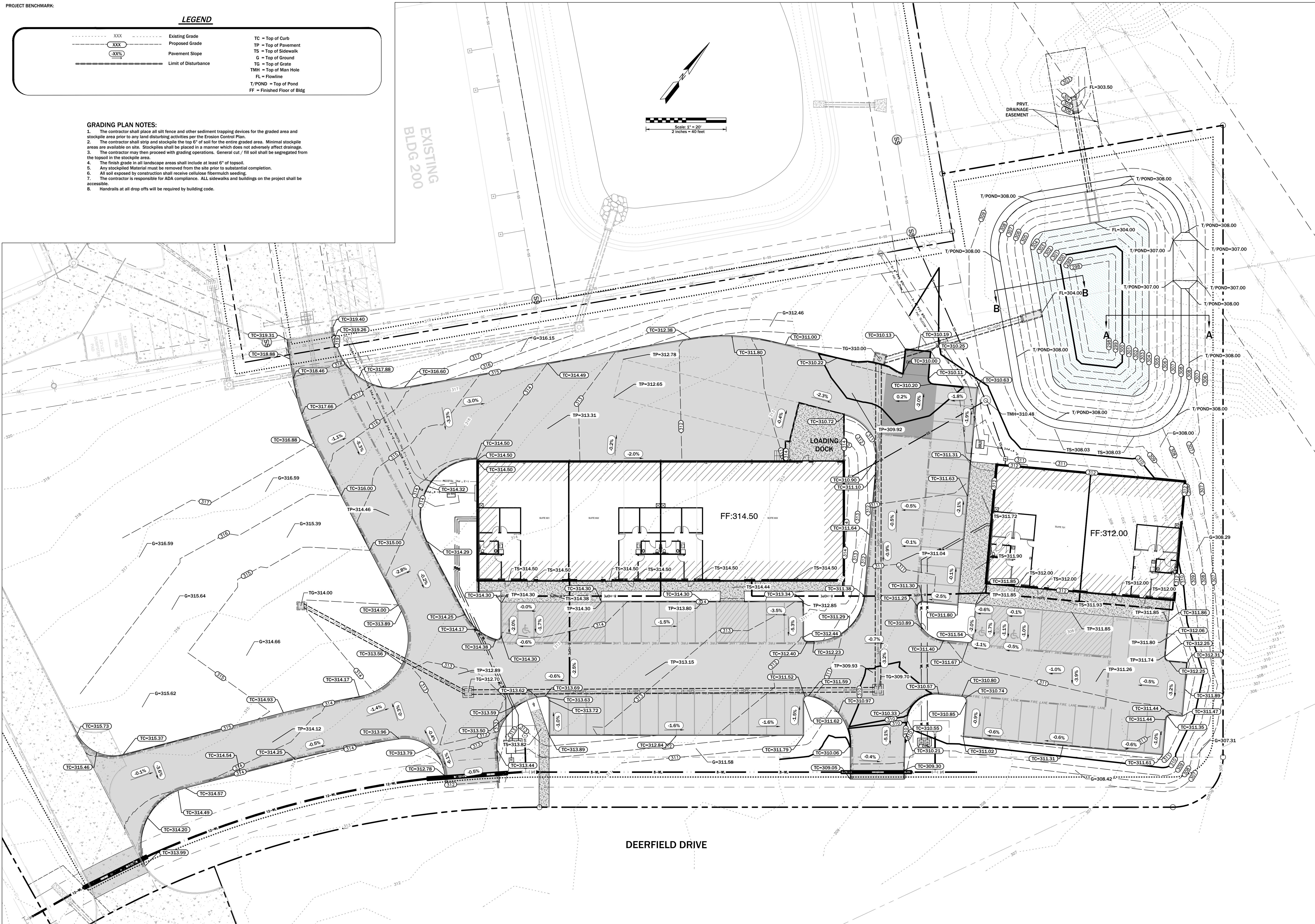
DATE: **AUG. 2012** | B/C/S UNIFIED STANDARD DETAIL | DETAIL NO. **W4-02** | CITY OF COLLEGE STATION

LEGEND

---	Existing Grade	TC = Top of Curb
- - - -	Proposed Grade	TP = Top of Pavement
---	Pavement Slope	TS = Top of Sidewalk
---	Limit of Disturbance	G = Top of Ground
		TG = Top of Gate
		TMH = Top of Man Hole
		FL = Flowline
		T/POND = Top of Pond
		FF = Finished Floor of Bldg

GRADING PLAN NOTES:

- The contractor shall place all silt fence and other sediment trapping devices for the graded area and stockpile area prior to any land disturbing activities per the Erosion Control Plan.
- The contractor shall strip and stockpile the top 6" of soil for the entire graded area. Minimal stockpile areas are available on site. Stockpiles shall be placed in a manner which does not adversely affect drainage.
- The contractor may then proceed with grading operations. General cut / fill soil shall be segregated from the topsoil in the stockpile area.
- The finish grade in all landscape areas shall include at least 6" of topsoil.
- Any stockpiled Material must be removed from the site prior to substantial completion.
- All soil exposed by construction shall receive cellulose fiber mulch seeding.
- The contractor is responsible for ADA compliance. ALL sidewalks and buildings on the project shall be accessible.
- Handrails at all drop offs will be required by building code.



**MITCHELL
M&M
MORGAN**

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TX. FIRM # F-1443

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COLLEGE STATION, TX 77845

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CIVIL ENGINEERING HYDRAULICS
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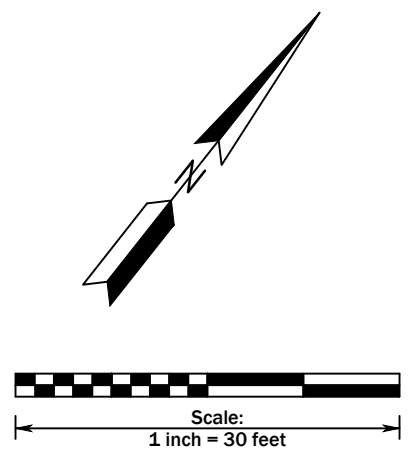
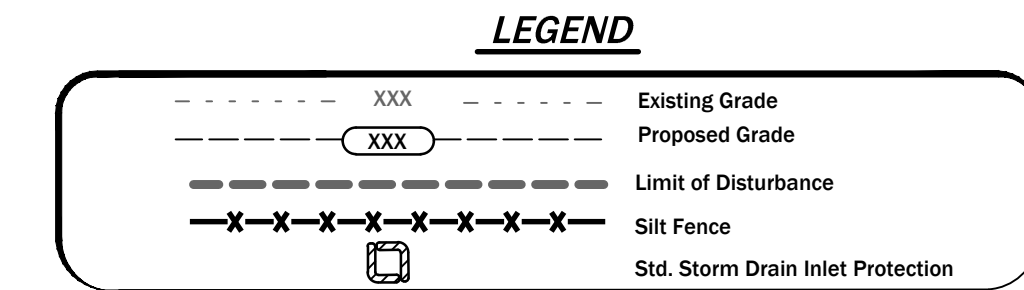
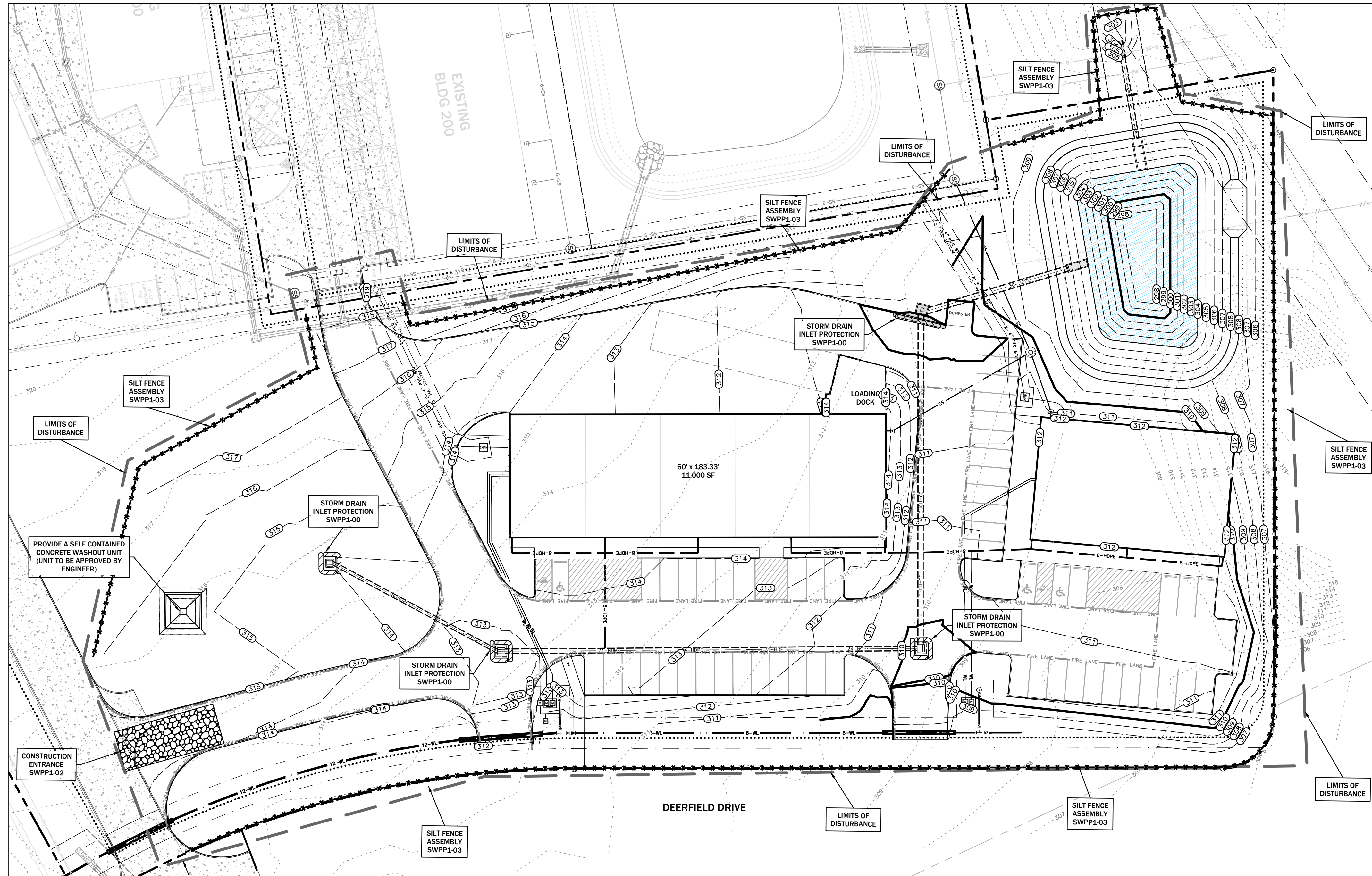
FEBRUARY 2023
Drawn By: JB, JT, SB
Checked By: JDBH

Prepared For:
PVD Development Co. LLC
5222 Enchanted Oasis Dr.
College Station, TX 77845
(979) 225-2222
5.484 AC LOT 3, BLK 4 of the
PVD DEVELOPMENT SUBDIVISION

Revisions

OVERALL GRADING PLAN
PHASE 5 - COMMERCIAL BUILDING
S130 - BRYAN

GP1



SWPP Information:

Nature of Construction Activity: Drainage, utility, and pavement improvements for building construction. Potential pollutants and sources - Sediment from excavation and equipment movement around the site.

Schedule of Events:

1. Install silt fencing.
2. Install stabilized construction exit.
3. Clear and grub.
4. Install utilities.
5. Install pavement.
6. Complete grading and install permanent seeding.
7. When all construction activity is completed the site is stabilized. Remove silt fence and re-seed any area disturbed during construction and assure a healthy ground cover.

Area of Disturbance:

During the construction of the pavement, drainage, and utility improvements the entire lot will be disturbed except for the existing structures and the grass area behind the existing building.

Structural Controls:

Temporary stabilization - areas where construction activity temporarily ceases for at least 21 days will be stabilized with temporary seed no later than 14 days from the last construction activity in that area all proposed fill material will be seeded.

Silt fence and/or hay bales will be installed at all outfalls, areas where water runs off the site.

Storm Water Management:

Storm water drainage will be controlled by existing grassed areas adjacent to the site. All areas affected by construction will be fine graded and have permanent seeding. The remainder of the area will remain in its natural state.

Offsite vehicle tracking:

A stabilized construction entrance will be provided to help reduce vehicle tracking of sediments. The paved street adjacent to the site entrance will be swept to remove any excess mud, dirt, or rock tracked from the site. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

Certification of Compliance with State and Local Regulations:

This storm water pollution prevention plan reflects the city's/state's requirements for storm water management, erosion, and sediment control. To ensure compliance, this plan was prepared in accordance with the city's drainage policy.

Maintenance/Inspection Procedures:

- These are the inspection and maintenance practices that will be used to maintain erosion and sediment controls:
- All control measures will be inspected at least once every 14 days and following any storm event of 0.50 inches or greater.
 - All BMP's will be maintained in good working order; if a repair is necessary it will be initiated within 24 hours of the report.
 - Built up sediment will be removed from silt fence when it has reached one-half the height of the fence.
 - Silt fence will be inspected for depth of sediment, tears, to see if the fabric is securely attached to the fence posts, and to see that the fence posts are firmly in the ground.
 - Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth.
 - A maintenance inspection report will be made after each inspection. The inspection report form will be prepared by the site superintendent and filed for record.
 - A site superintendent will be responsible for inspections, maintenance and repair activities, and filling out the inspection and maintenance report.

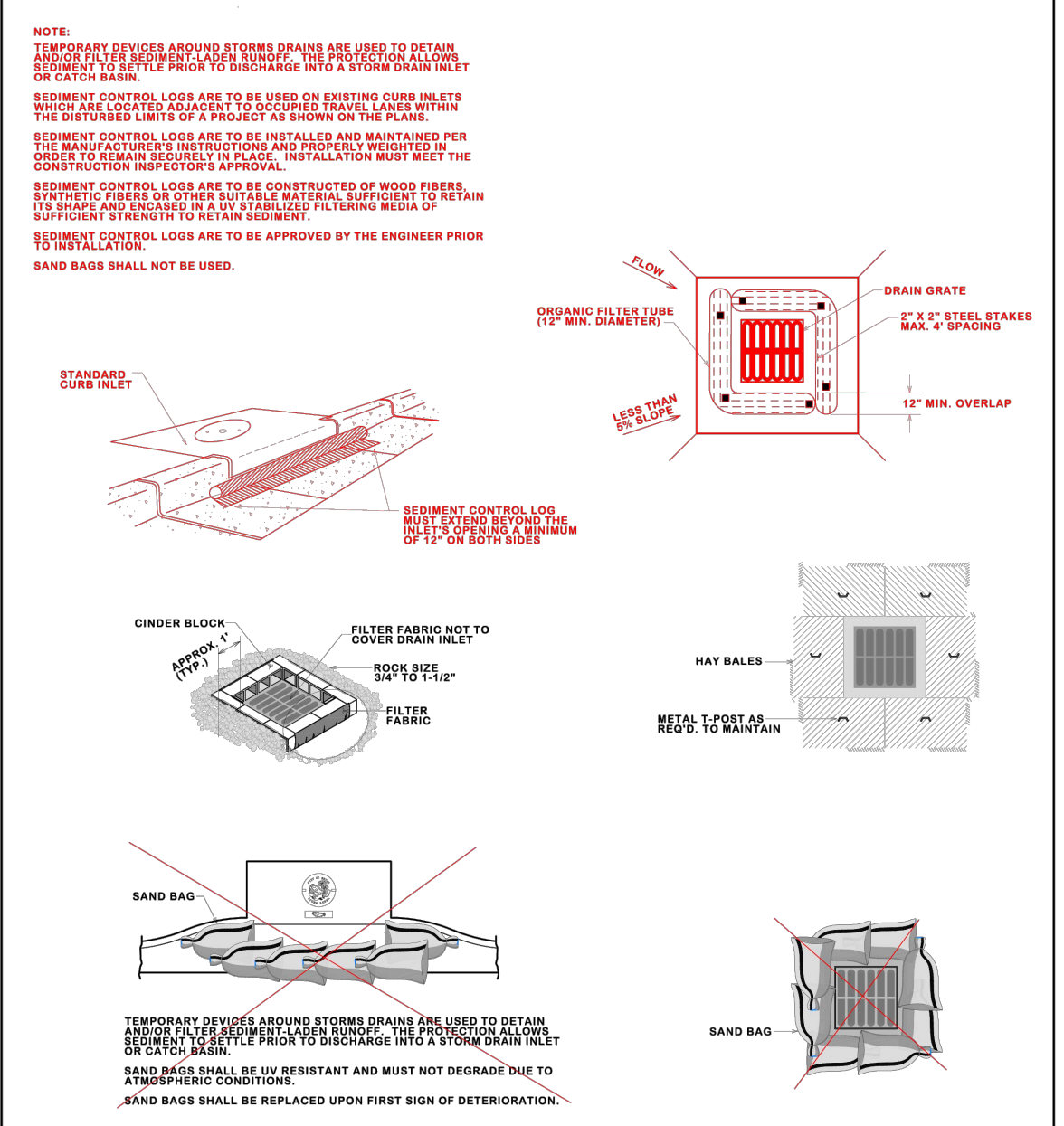
Non-storm Water Discharges:

It is expected that the following non-storm water discharges will occur from the site during the construction period:

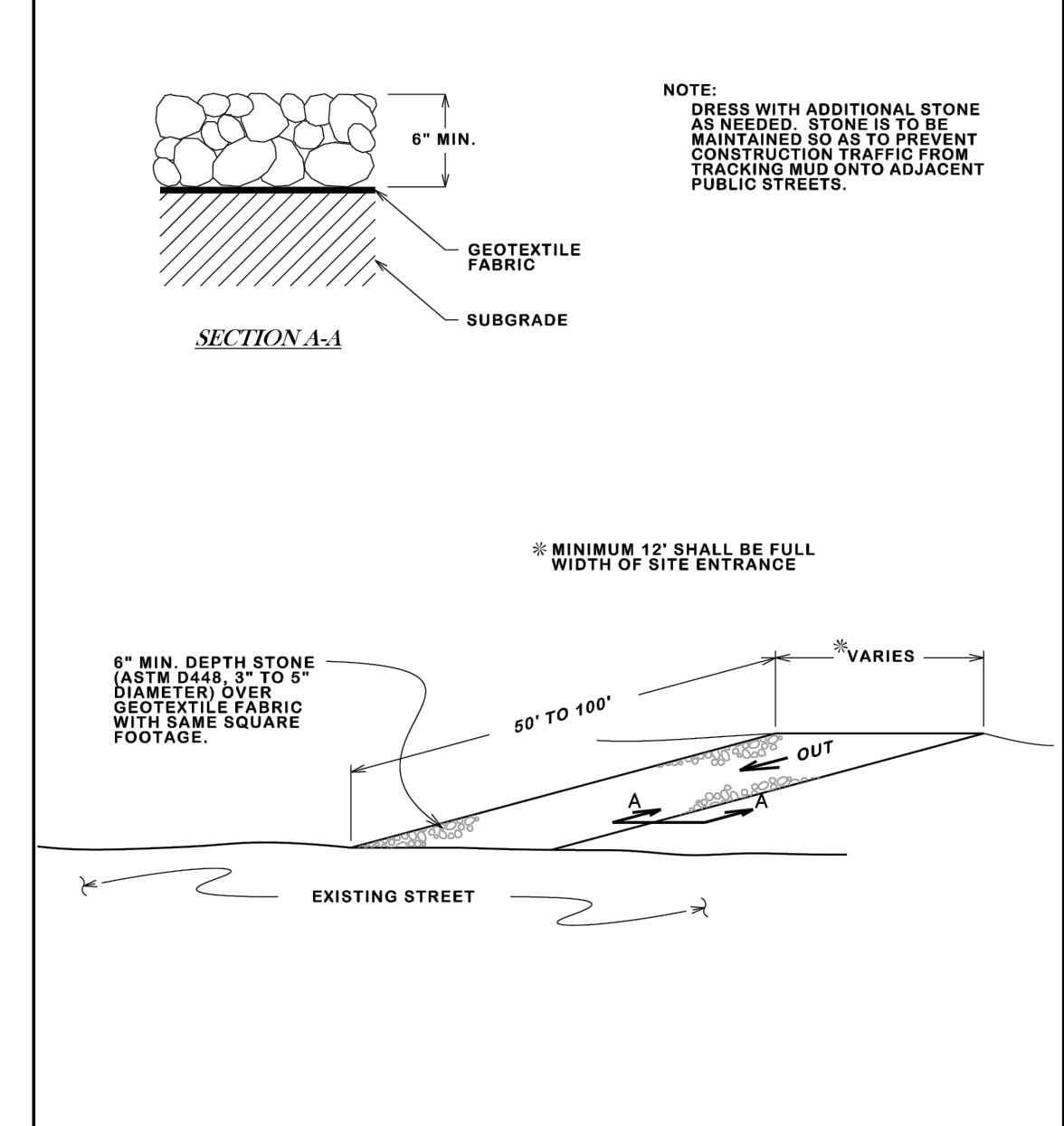
- Water from water line flushing

SWPP PLAN NOTES:

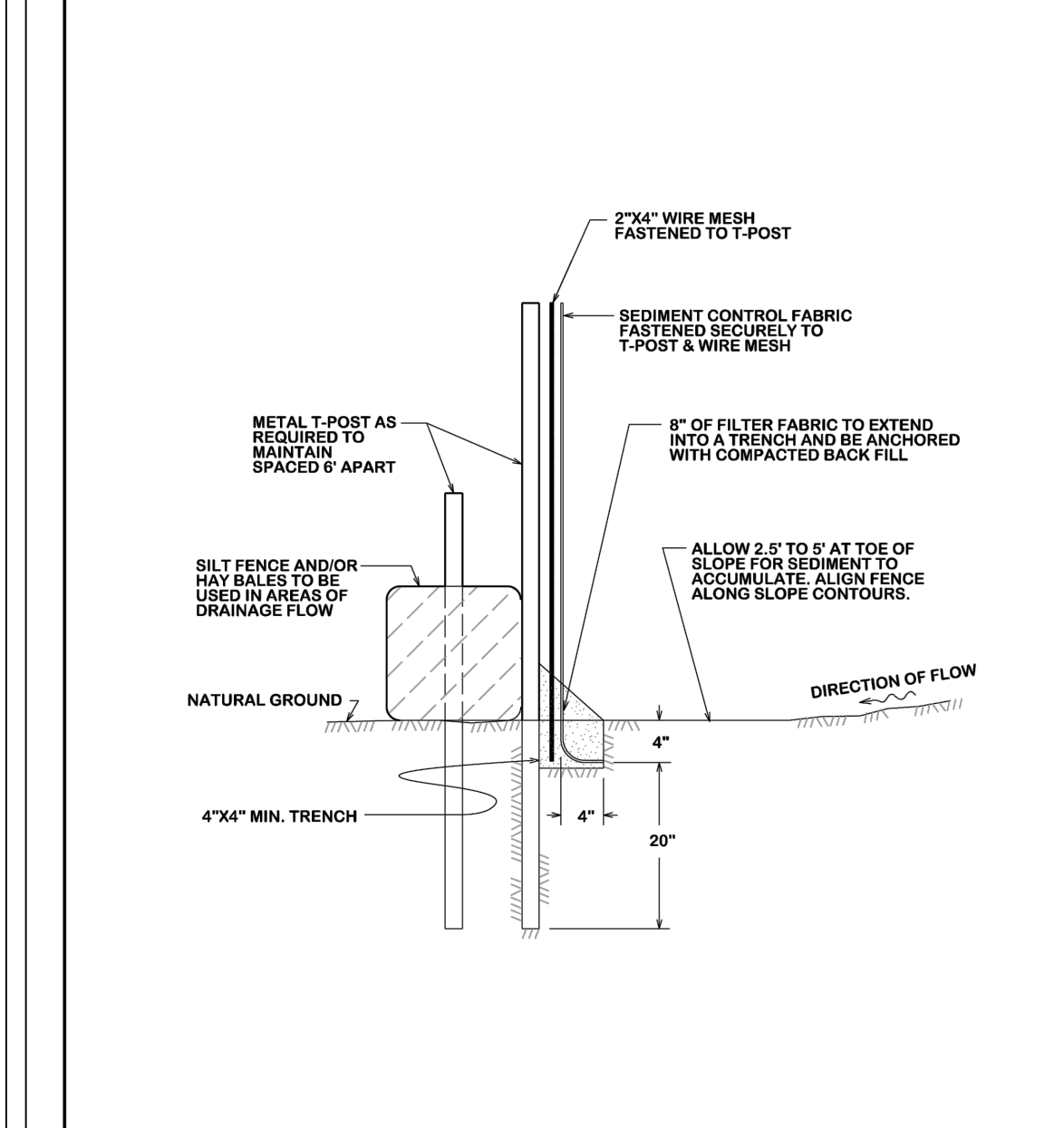
1. All contractor vehicles, including employee's vehicles, shall park within the project site to minimize traffic on the public streets adjacent to the worksite entrance. Contractor will provide sufficient parking areas to accommodate his vehicles. Any areas disturbed by vehicular parking will be repaired to original condition prior to completion of project.
2. If required on the plans, the contractor shall maintain a vehicle wash down area of sufficient size and in a location to facilitate cleaning his vehicles prior to leaving the work site.
3. All areas where existing vegetation and grass cover have been bared by construction shall be adequately block sodded or hydromulched and watered until growth is established. In developed areas where grass is present, block sod will be required. Bared areas shall be seeded or sodded within 14 calendar days of last disturbance. All erosion control measures shall remain in place until acceptable vegetative growth is established after construction is complete and then removed by contractor.
4. Approved erosion control measures must be installed during the entire time earth has been bared by construction and shall stay in place until acceptable vegetative growth is established after construction is complete and then removed by the contractor.
5. All erosion control measures should be cleaned of silt after every rain event.
6. Approved erosion control measures must be installed during the entire time earth has been bared by construction.
7. It is the responsibility of the contractor to use whatever means necessary to minimize erosion and prevent sediment from leaving the project site.
8. The contractor is responsible for implementing, inspecting and maintaining the erosion and sediment control devices.
9. Construction exit is to be dressed with additional rock as needed and maintain so as to prevent construction traffic from tracking mud onto adjacent public streets.
10. Inspection shall be performed every 14 days and every rainfall event of 1/2" or more. All erosion control devices shall be cleaned of silt (as needed) after every rain.
11. Structural controls shall be installed as soon after clearing as practical and maintained in good working order until the site is stabilized. Alternate structural controls may be utilized if approved by Engineer.
12. The contractor is responsible for complying with the TPDES General Permit No. TXR150000 requirements for construction sites.
13. The contractor shall coordinate with the owner to determine a temporary spoils, earthwork, and topsoil area for the site.
14. All areas that have a slope >15% shall be hydromulched (mix determined based upon season) upon completion of grading and contractor shall utilize a rolled single net straw erosion control blanket with poly netting (US-15) as produced by US Erosion Control Products or approved equal to lay over the hydromulched slope. Contractor shall be responsible for watering and assuring 80% coverage in 21 days.
15. Contractor shall strip topsoil from the site prior to construction and stockpile and protect from contamination from other soils for later use onsite by the landscape contractor.



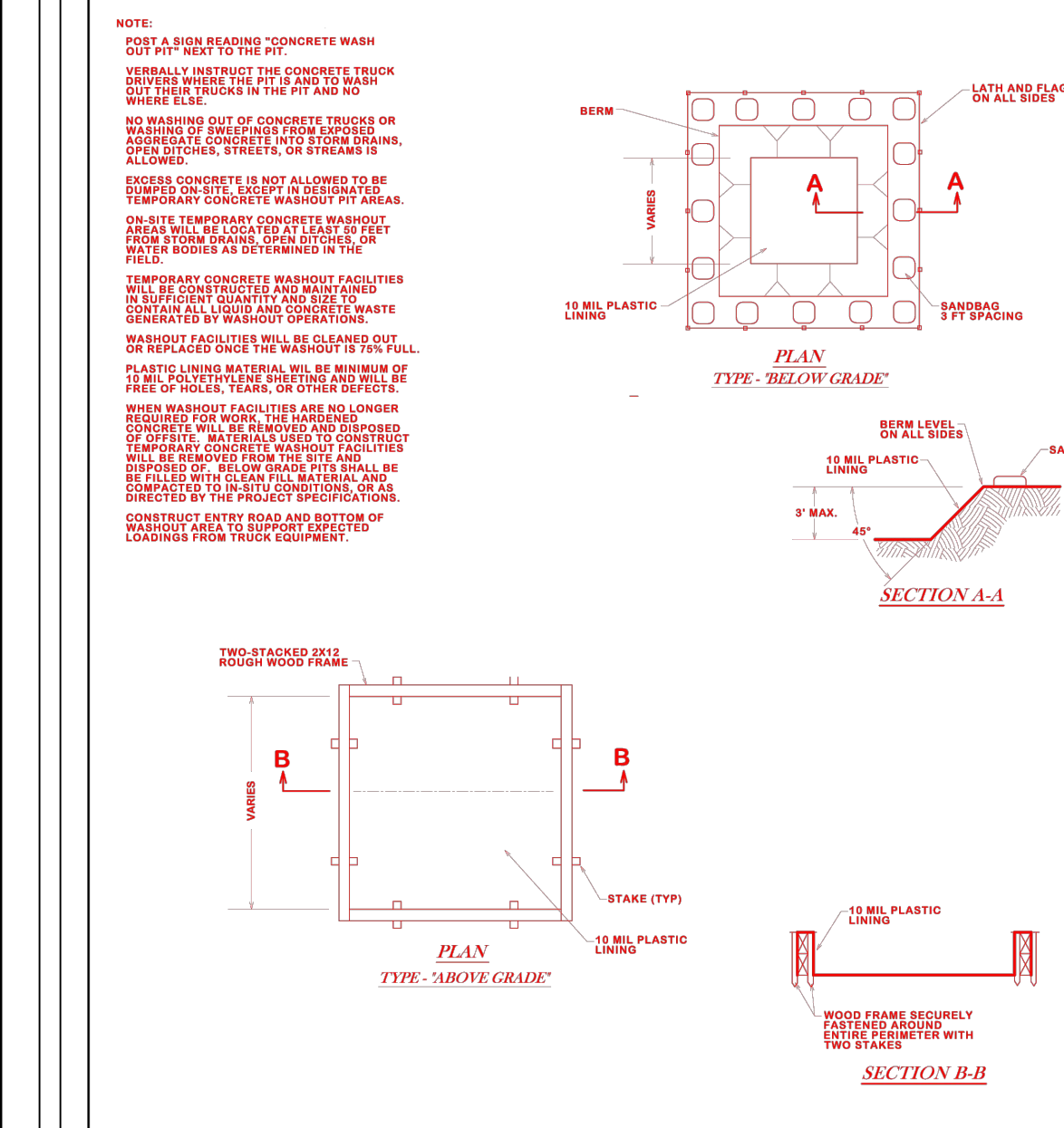
STORM DRAIN INLET PROTECTION
 DATE: DECEMBER 2020
 B/C/S UNIFIED STANDARD DETAIL: SWPP1-00
 CITY OF BRYAN / CITY OF COLLEGE STATION



CONSTRUCTION EXIT SLIT CONTROL
 DATE: AUG. 2012
 B/C/S UNIFIED STANDARD DETAIL: SWPP1-02
 CITY OF BRYAN / CITY OF COLLEGE STATION



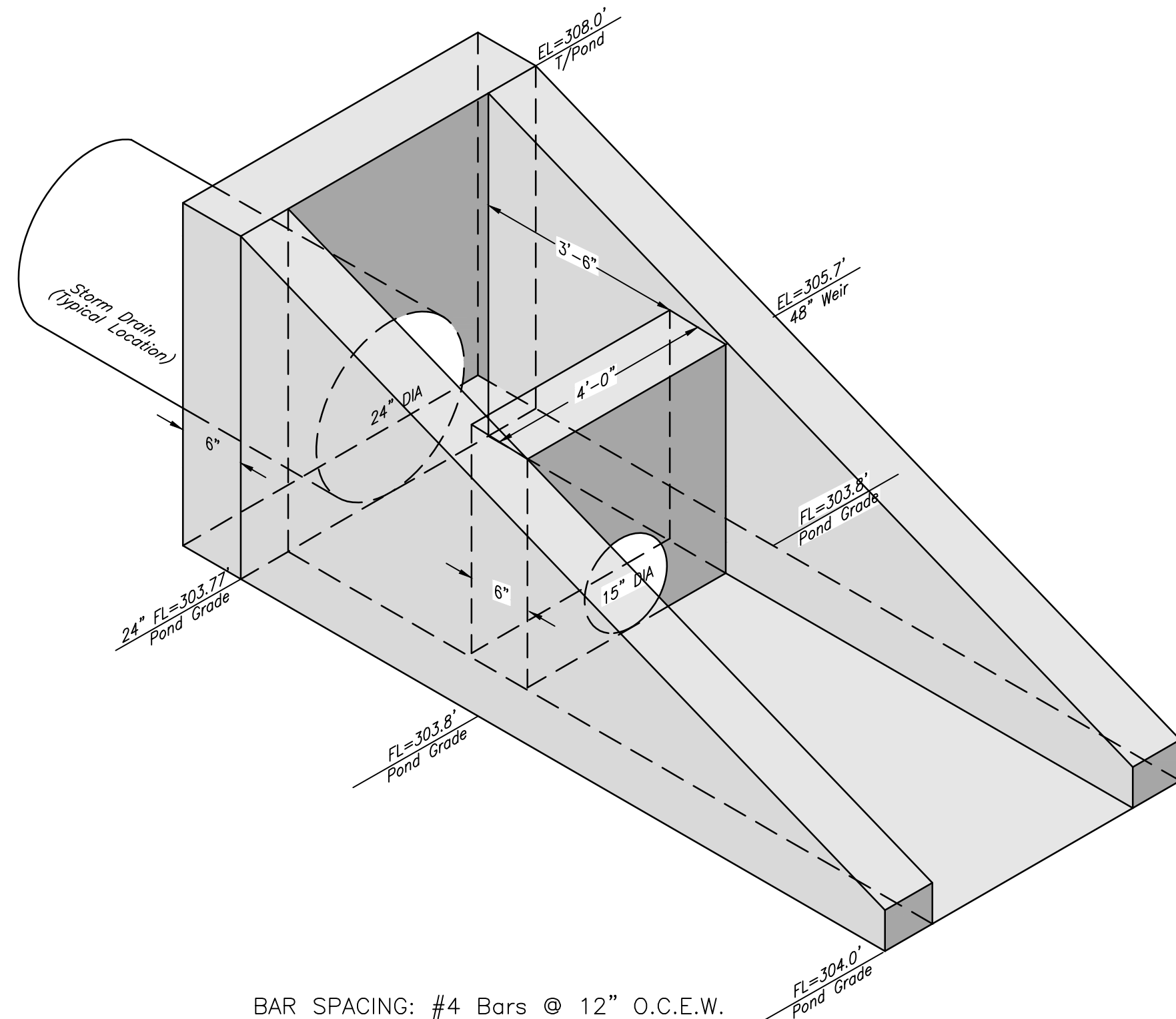
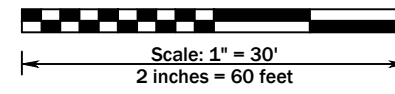
SILT FENCE ASSEMBLY
 DATE: AUG. 2012
 B/C/S UNIFIED STANDARD DETAIL: SWPP1-03
 CITY OF BRYAN / CITY OF COLLEGE STATION



CONCRETE WASHOUT
 DATE: DECEMBER 2020
 B/C/S UNIFIED STANDARD DETAIL: SWPP1-04
 CITY OF BRYAN / CITY OF COLLEGE STATION

Site Description:
 Project name and location: PVD Phase 5, Bryan, Brazos County, Texas
 Developer: PVD Development Co., LLC
 The site is not located on Indian lands.
 Latitude: 30° 39' 10.19" N
 Longitude: 96° 16' 6.23" W
 MS4 operator name: City of Bryan, Texas
 Receiving water body: Brushy Creek Tributary 11
 Estimated area to be disturbed: 3.54 acres
 The storm water pollution prevention plan shall be in compliance with state and local sediment and erosion plans.
Operator Requirements:
 The operator shall submit a NOI to TCEQ (when applicable) and a copy to the operator and post a copy at the construction site in a location where it is readily available for viewing prior to commencing construction activities, and maintain the notice in that location until completion of the construction activity.
 The operator shall provide a copy of NOI to the operator of the municipal separate storm sewer system receiving the discharge, at least two (2) days prior to commencing construction activities.
 The operator shall submit a NOT to TCEQ (when applicable) and a copy to the operator of the municipal storm sewer system once the final stabilization has been achieved and the temporary erosion controls have been removed.
 Controls must be developed to limit, to the extent practicable, offsite transport of litter, construction debris and construction materials.
Operator Inspection Requirements:
 The following records must be maintained and either attached to or referenced in the storm water plan:
 The dates when major grading activities occur.
 The dates when construction activities temporarily or permanently cease on a portion of the site.
 The dates when stabilization measures are initiated.
 A report summarizing the scope of the inspection, name and qualifications of personnel making the inspection, the dates of the inspection, and major observations must be made and retained with the storm water plan. Major observations should include:
 The locations of discharges of sediment or other pollutants from the site;
 Locations of BMP's that failed to operate as designed or proved inadequate for a particular location; and
 Location where additional BMP's are needed.
Operator's Record Keeping:
 The permittee must retain the following records for a minimum of 3 years from the date that a NOT is submitted:
 A copy of the storm water plan and
 All reports and actions required by this permit, including a copy of the construction site notice all data used to complete the NOI.

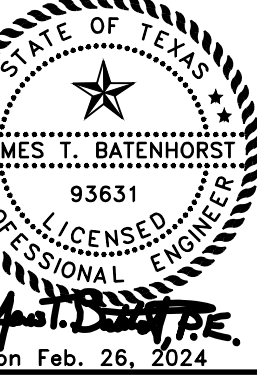
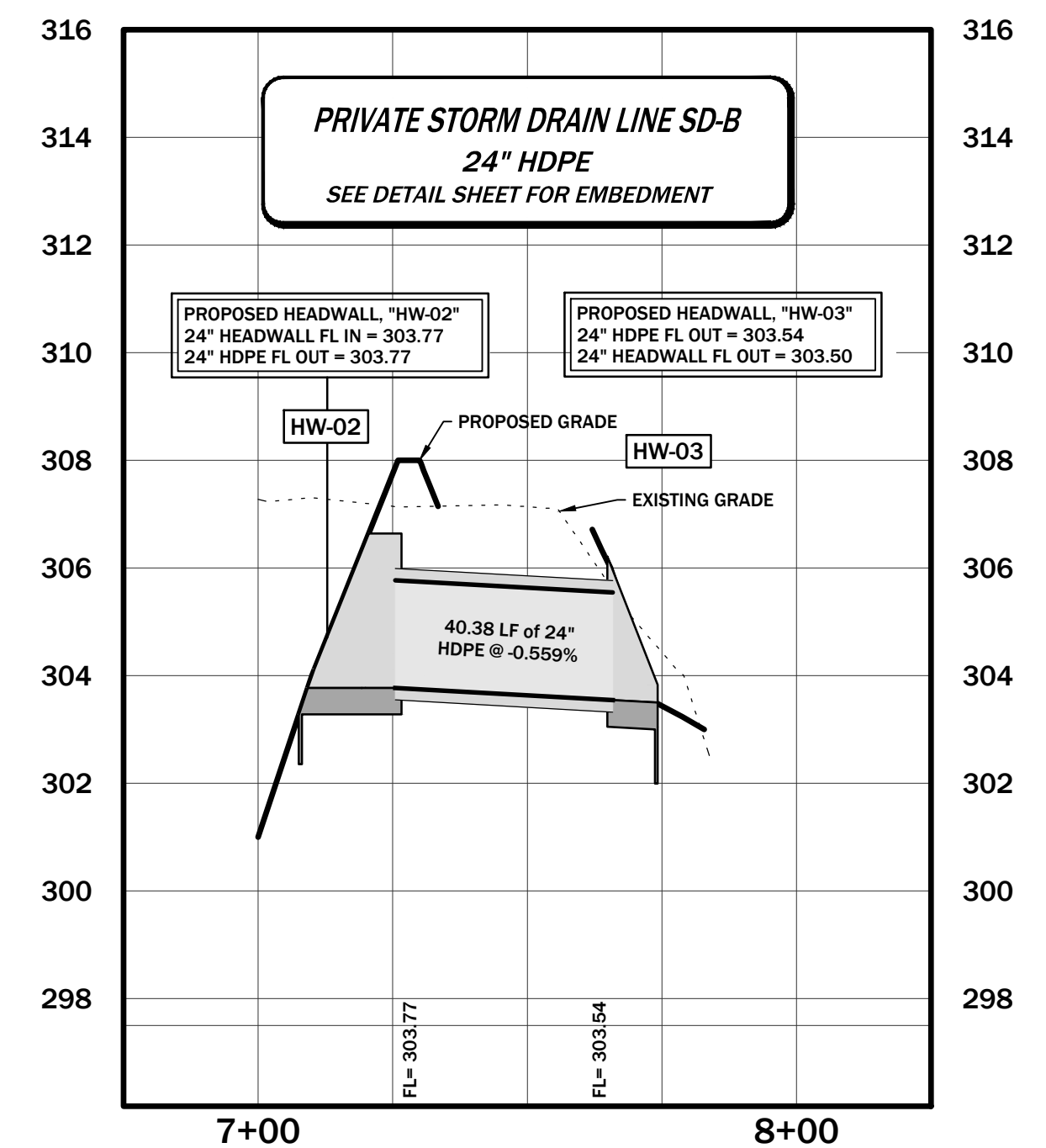
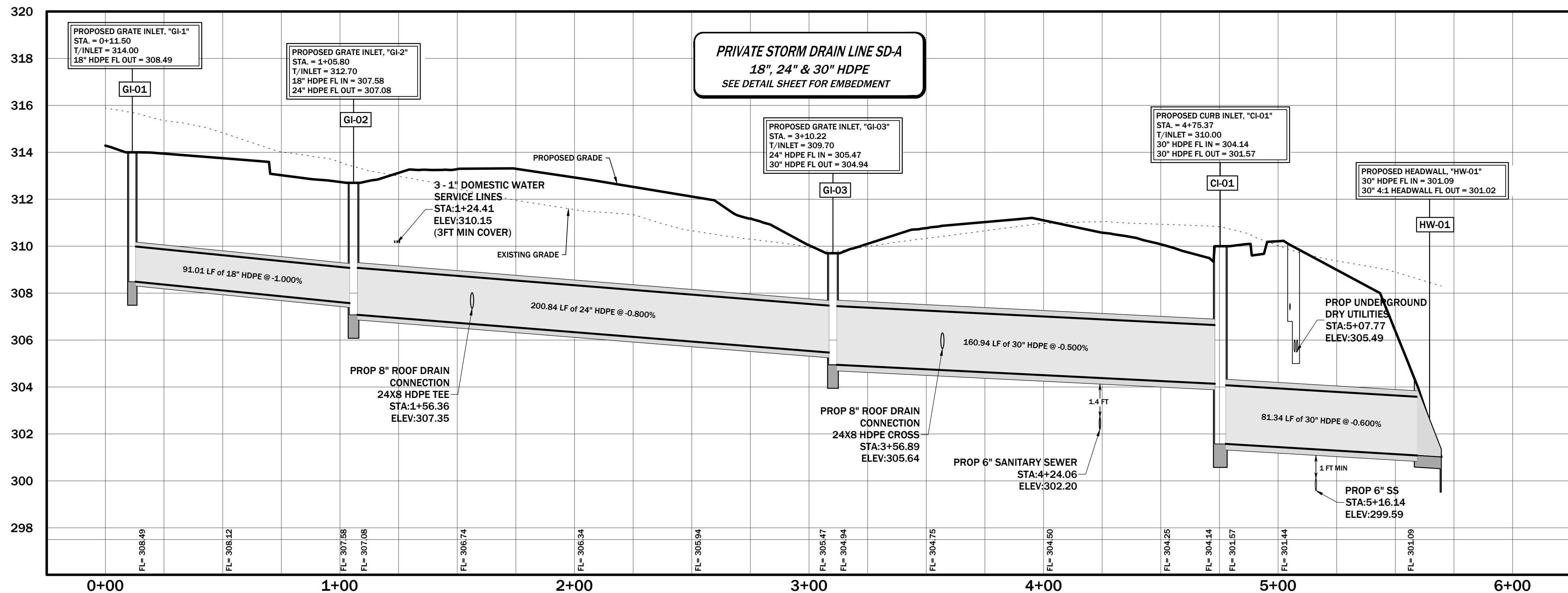
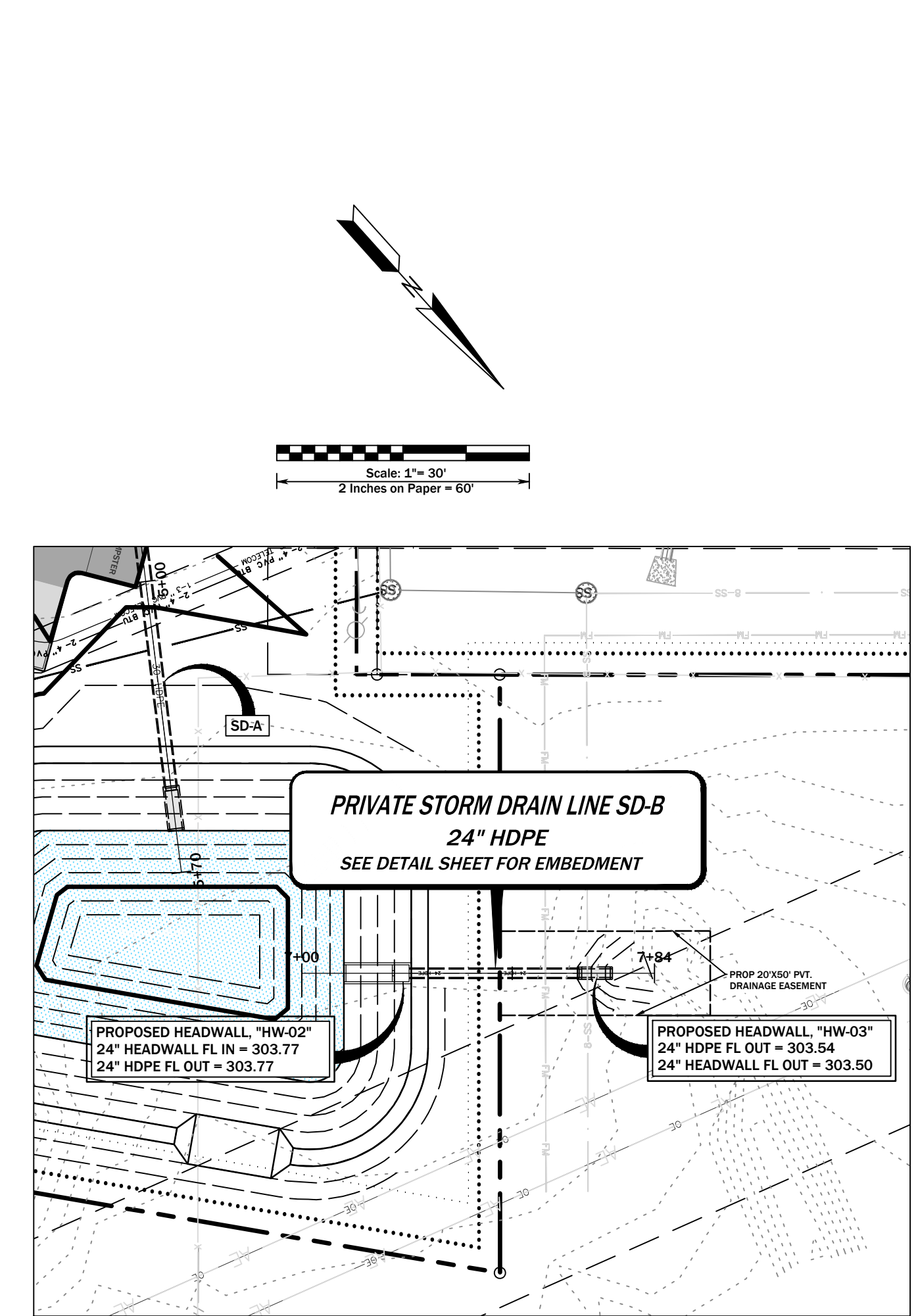
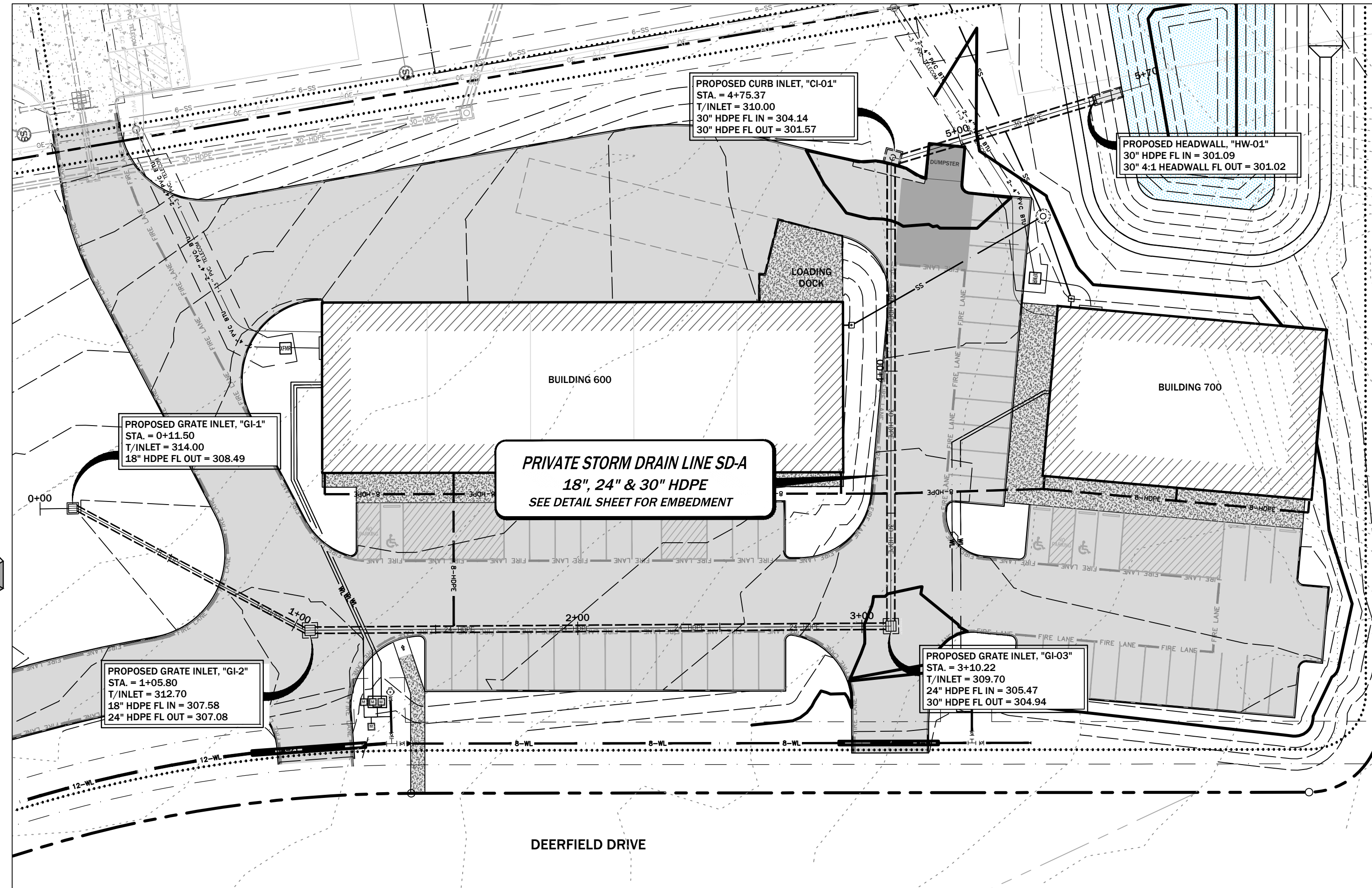
MITCHELL MORGAN
 T.979.260.6963
 F.979.260.3564
 TX. FIRM # F-1443
 3304 EARL RUDDER FWY. S. COLLEGE STATION, TX 77845
 PLAN & DESIGN SPECIALISTS IN CIVIL ENGINEERING, HYDRAULICS, HYDROLOGY, UTILITIES, STREETS, SITE PLANS, SUBDIVISIONS
 www.mitchellandmorgan.com
 STATE OF TEXAS
 JAMES T. BATHENHORST
 93631
 LICENSED PROFESSIONAL ENGINEER
 on Feb. 26, 2024
 FEBRUARY 2023
 Drawn By: JB, TF, SB
 Checked By: JZBH
 Prepared For:
 PVD Development Co., LLC
 5222 Enchanted Oaks Dr.
 College Station, TX 77845
 (979) 225-3222
 5.484 AC LOT 3, BLK 4 OF THE PVD DEVELOPMENT SUBDIVISION
EROSION CONTROL PLAN
PHASE 5 - COMMERCIAL BUILDING
SF30 - BRYAN
ECP



BAR SPACING: #4 Bars @ 12" O.C.E.W.

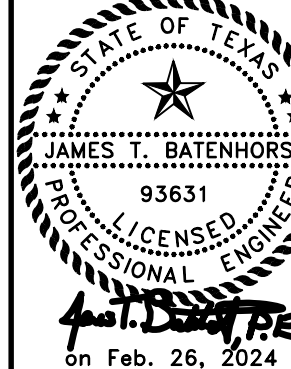
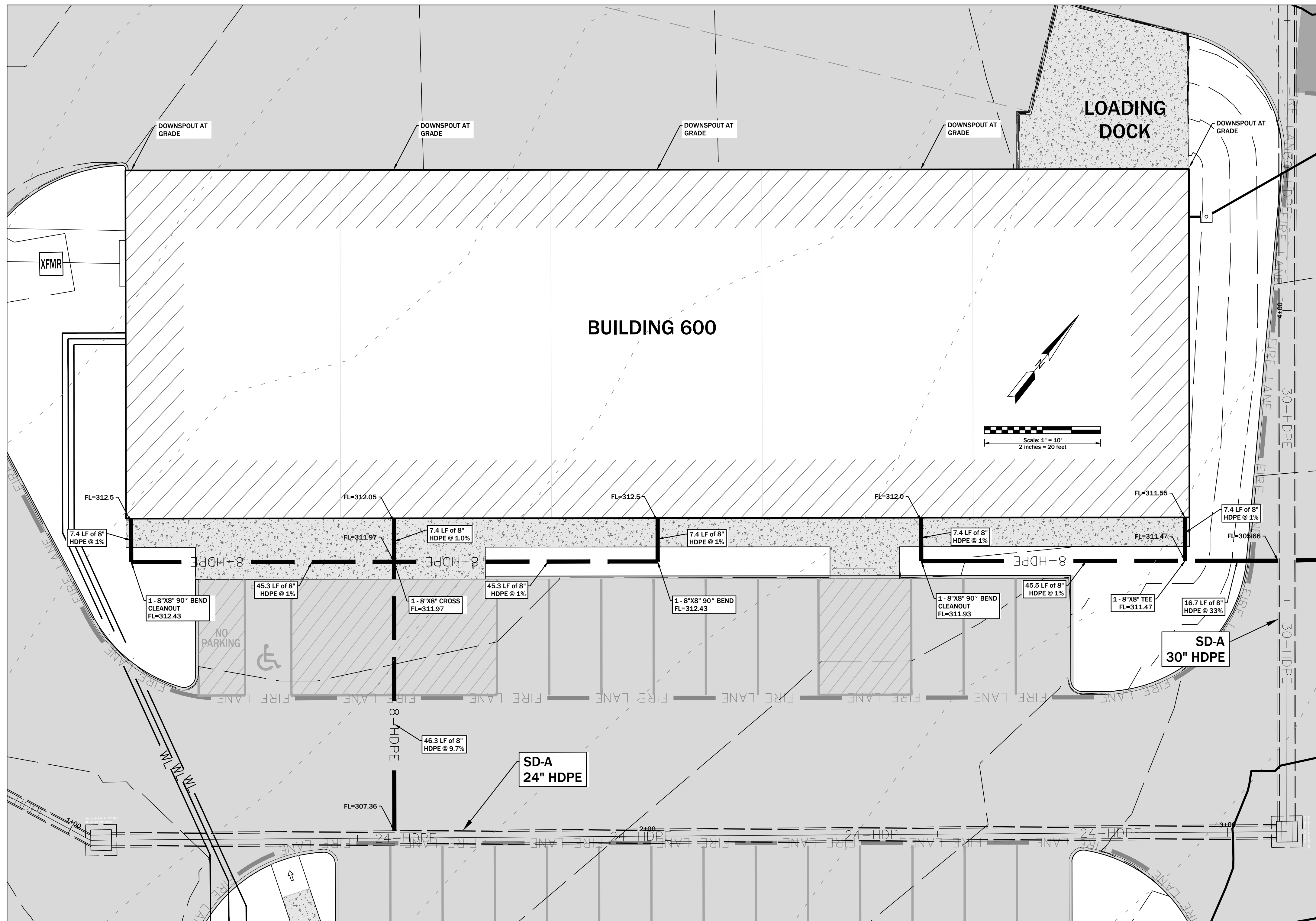
POND OUTLET CONTROL STRUCTURE

NTS



Revisions

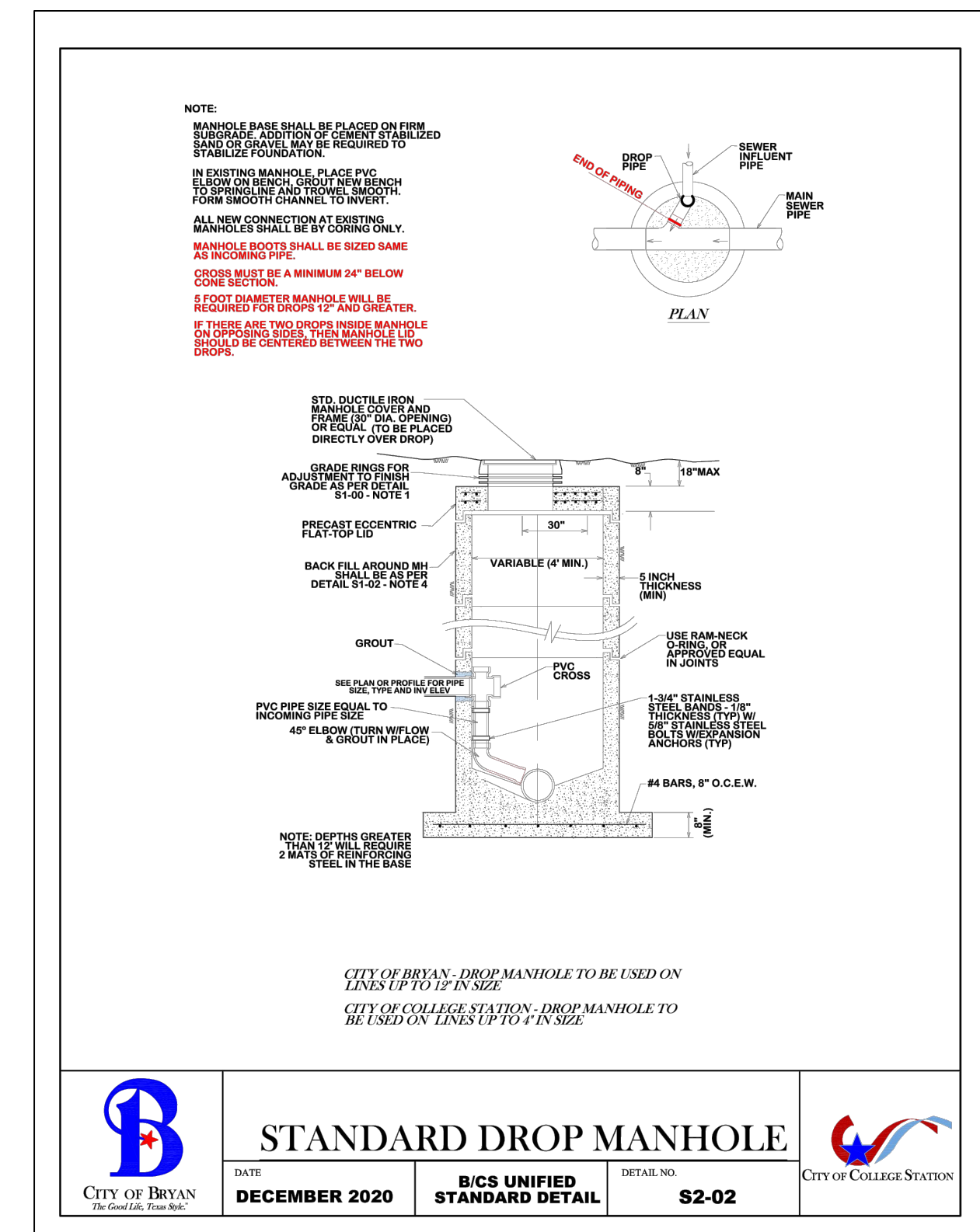
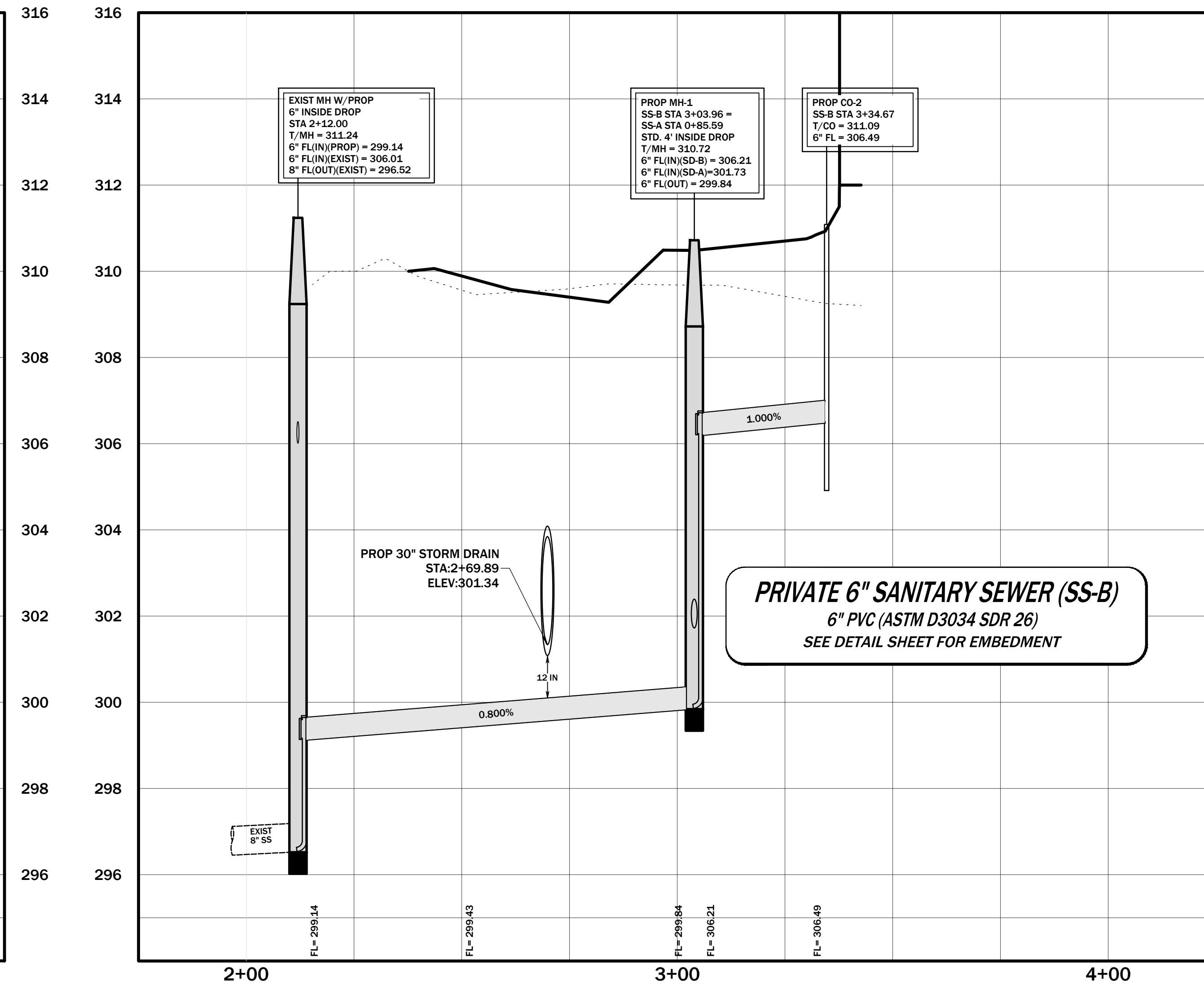
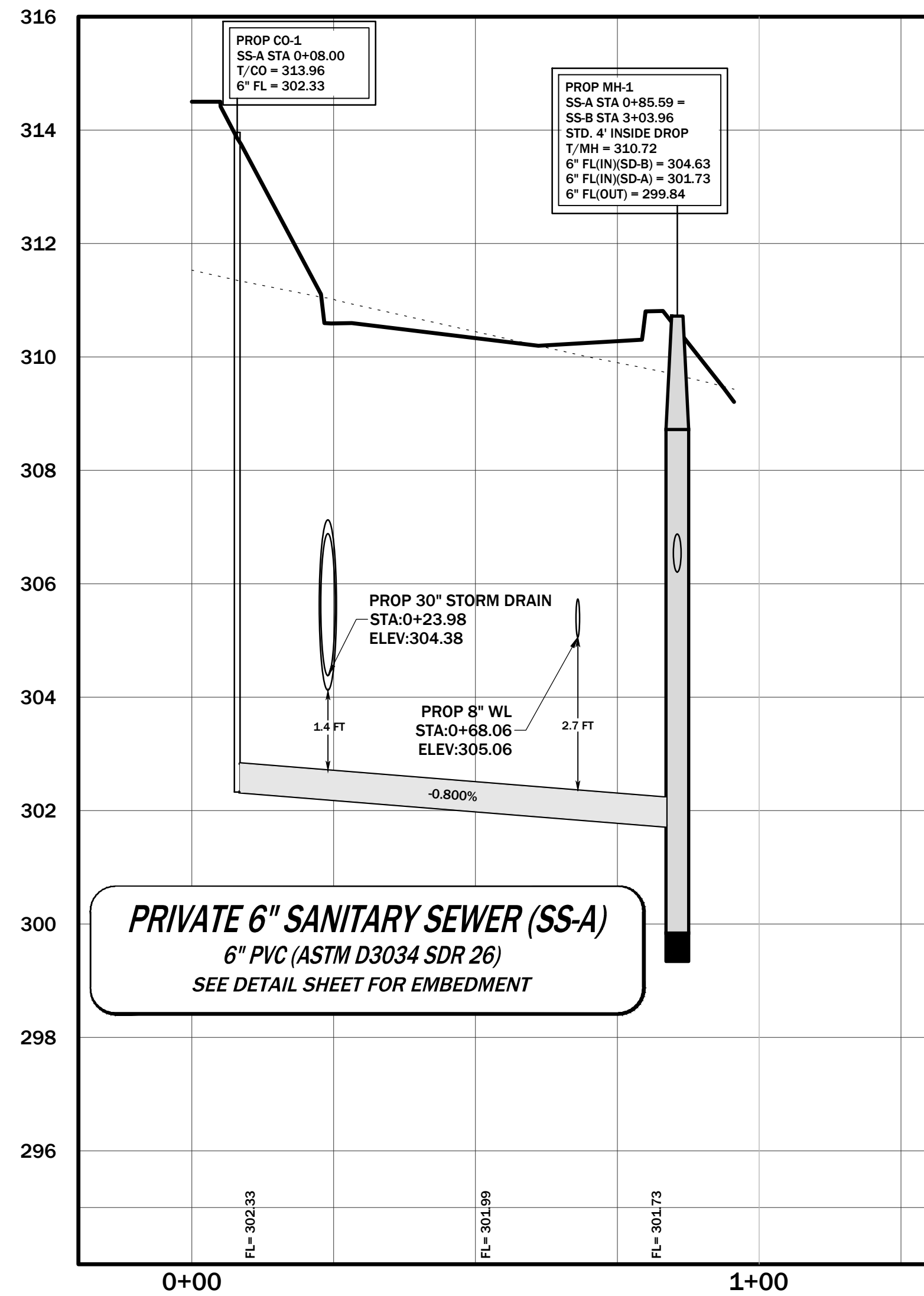
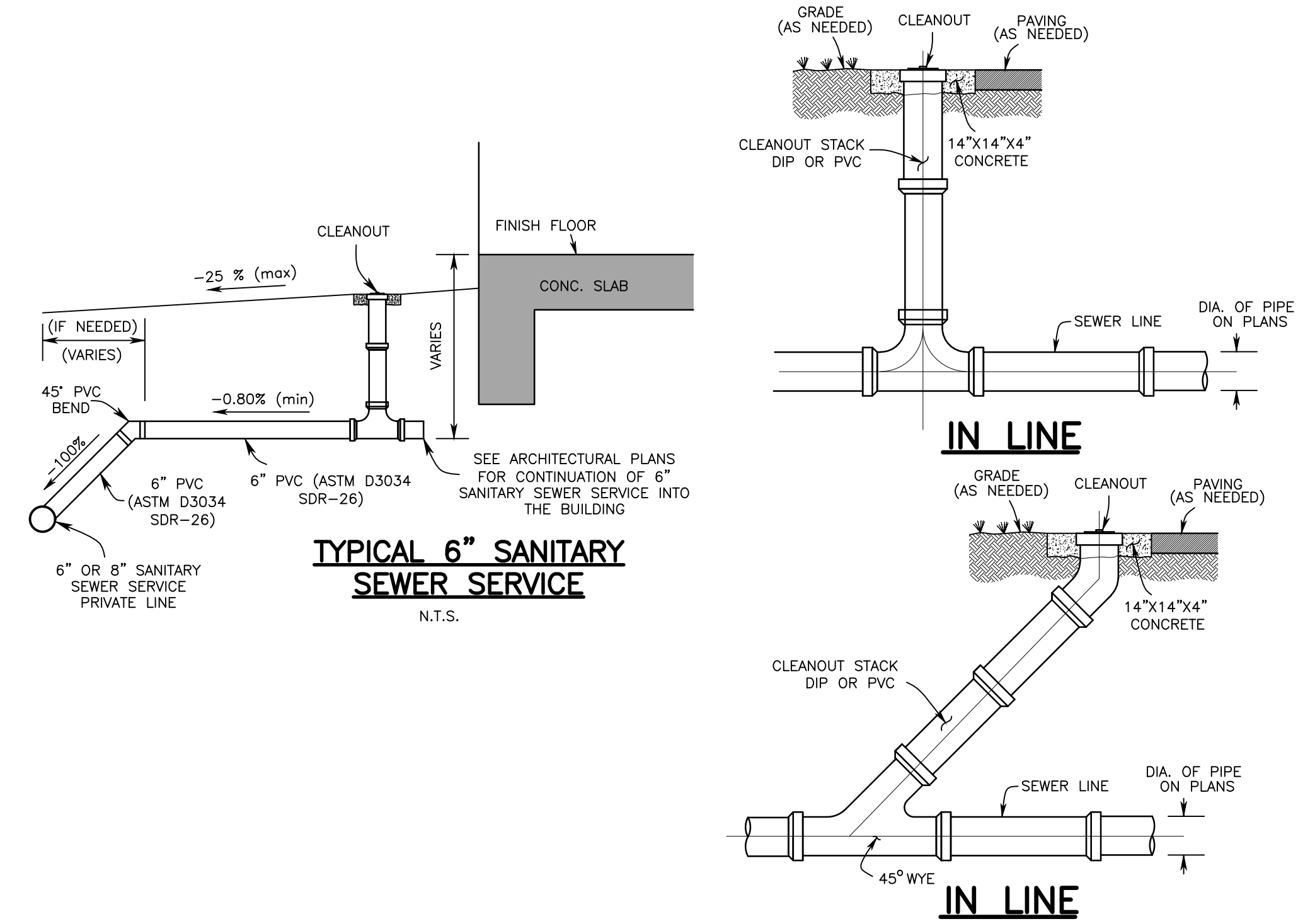
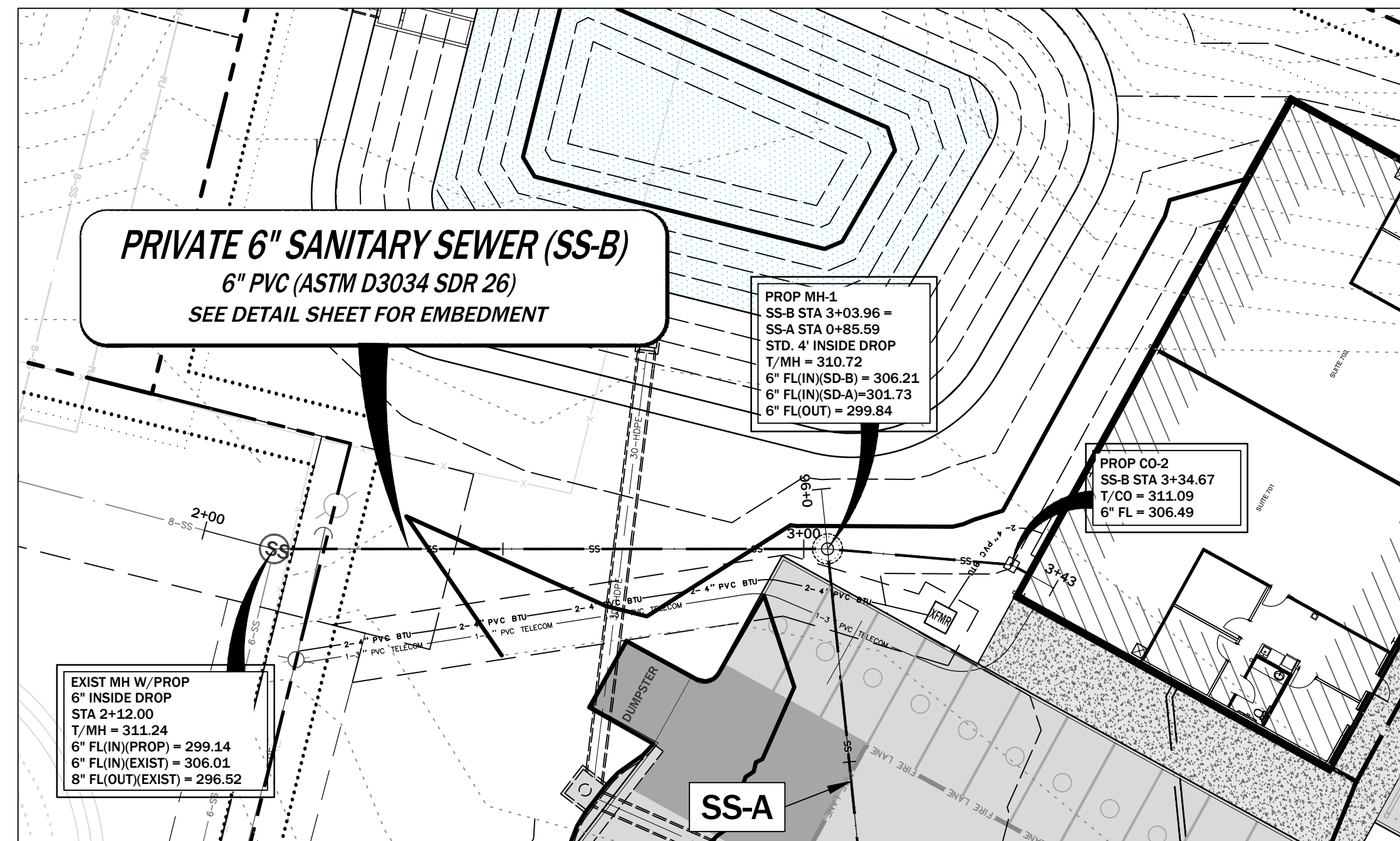
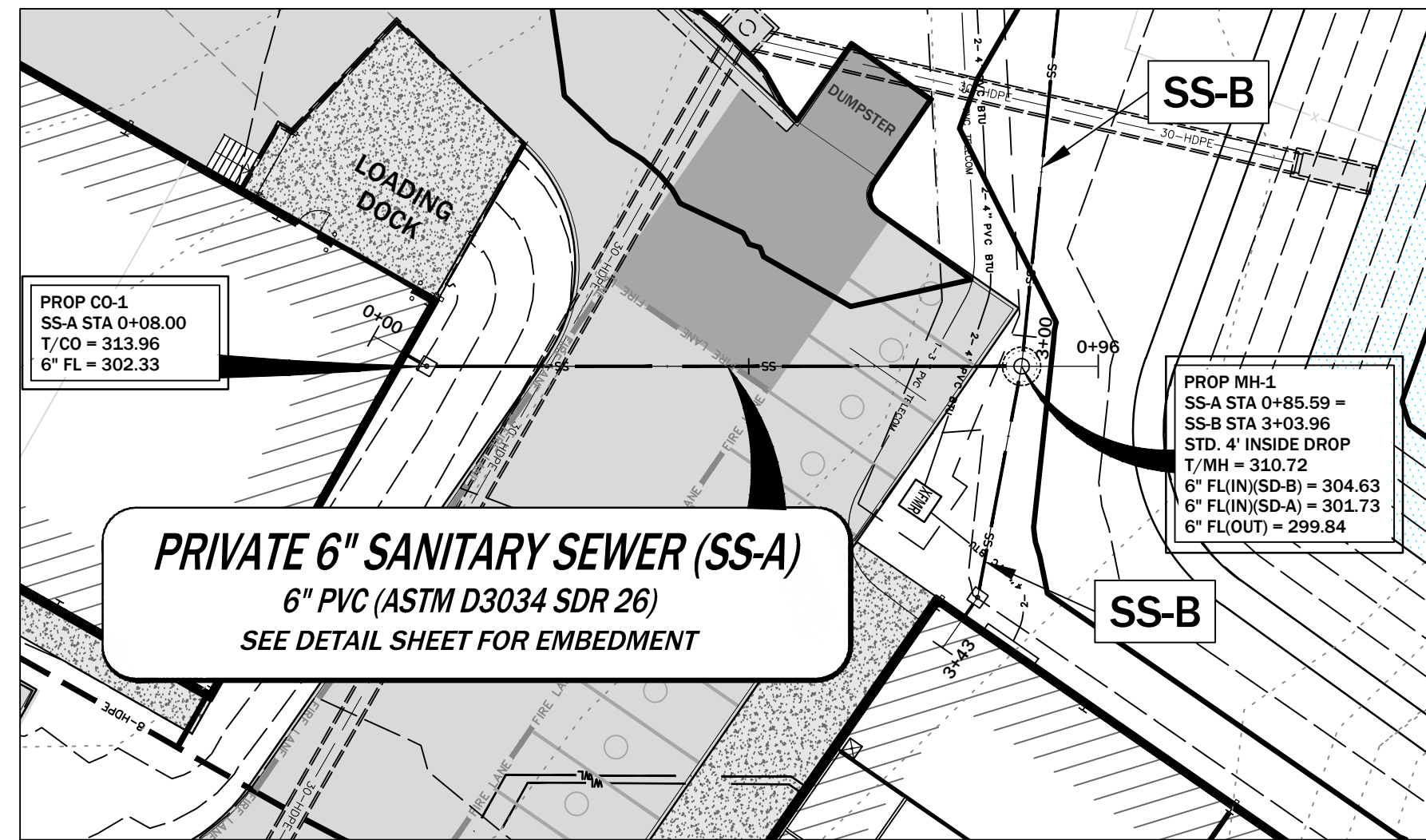
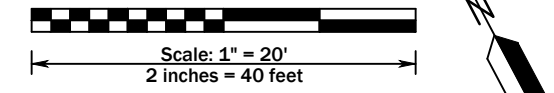
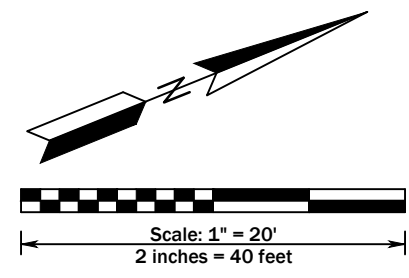
**STORM DRAIN SD-A & SD-B
PLAN & PROFILE**
PHASE 5 - COMMERCIAL BUILDING
SH30 - BRYAN



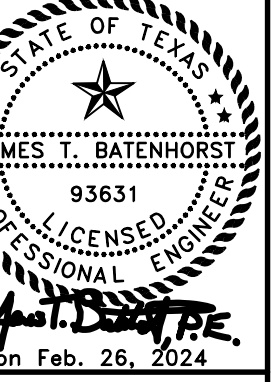
Revisions

BUILDING 600 ROOF DRAINS
 PHASE 5 - COMMERCIAL BUILDING
 SH30 - BRYAN

SD2



NOTES:
ALL SANITARY SEWER SHOWN IS PRIVATE. ALL MANHOLE LIDS SHALL BE LABELLED AS PRIVATE AND SHALL NOT CONTAIN CITY OF BRYAN LOGO.
ALL PIPE AND FITTINGS SHALL MEET SDR26-ASTM D3034. PIPE SHALL BE GREEN PVC.

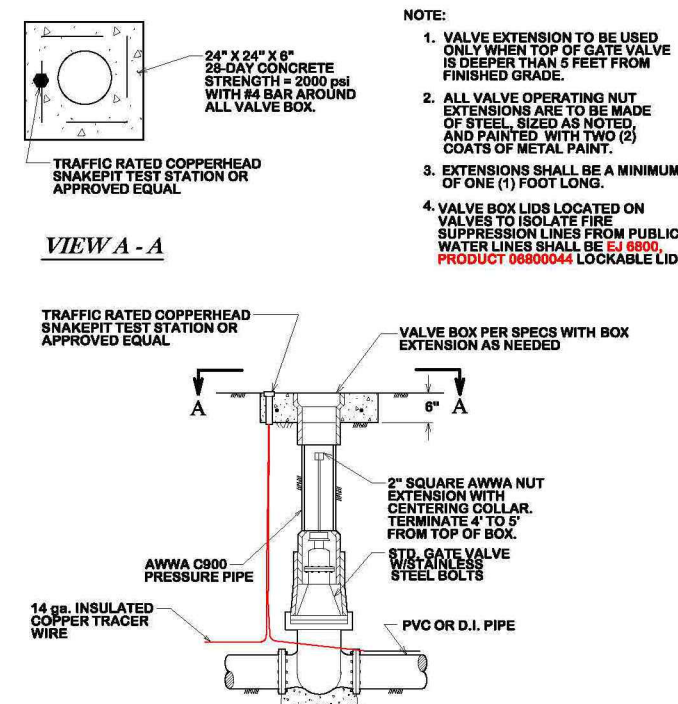


GENERAL NOTES:

ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

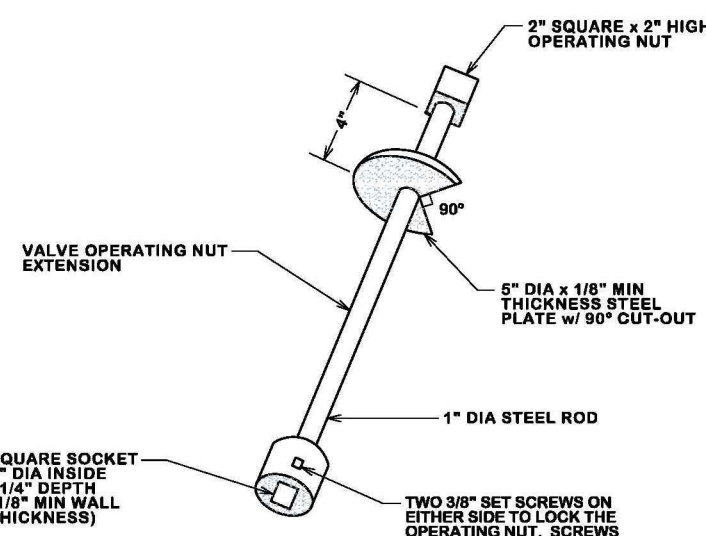
APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.
ESTABLISHMENT OF VEGETATION MAY BE A WARRANTY ITEM.



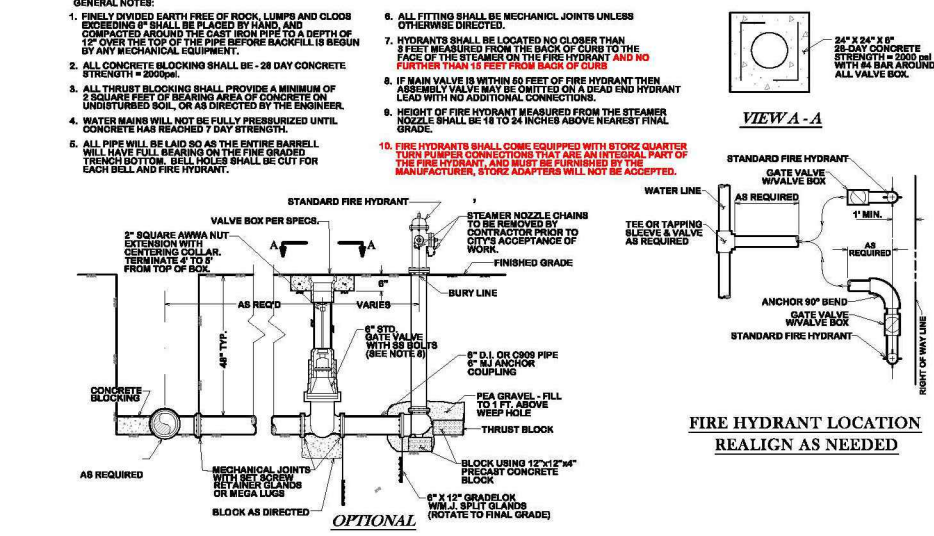
GATE VALVE & BOX

DATE	BICS UNIFIED	DETAIL NO.
FEB. 2021	STANDARD DETAIL	W1-00



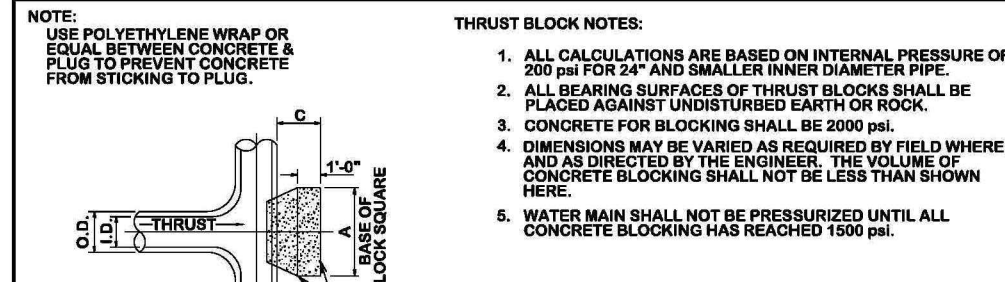
GATE VALVE EXTENSION

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	W1-01



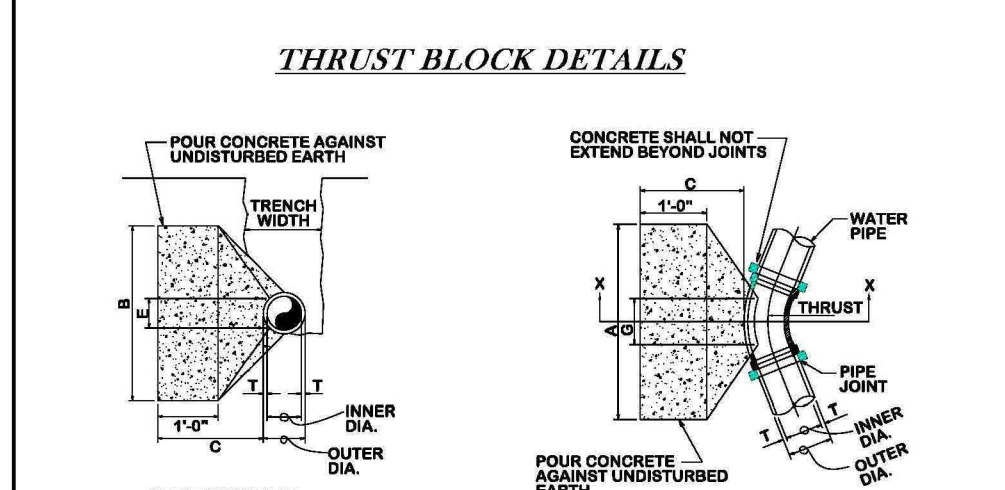
STANDARD FIRE HYDRANT ASSEMBLY

DATE	BICS UNIFIED	DETAIL NO.
DECEMBER 2020	STANDARD DETAIL	W1-02



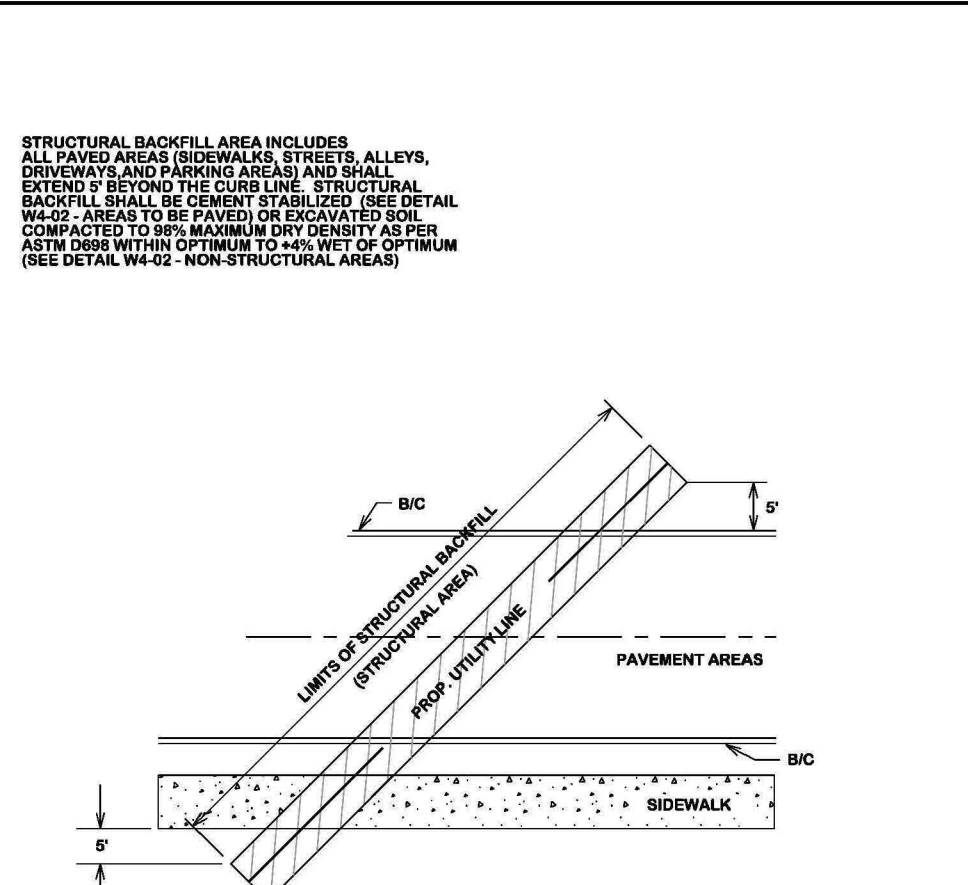
TEE THRUST BLOCK

TEE SCHEDULE	
ID	WALL THICKNESS
10"	0.875
12"	1.125
14"	1.375
16"	1.625
18"	1.875
20"	2.125
22"	2.375
24"	2.625
26"	2.875
28"	3.125
30"	3.375



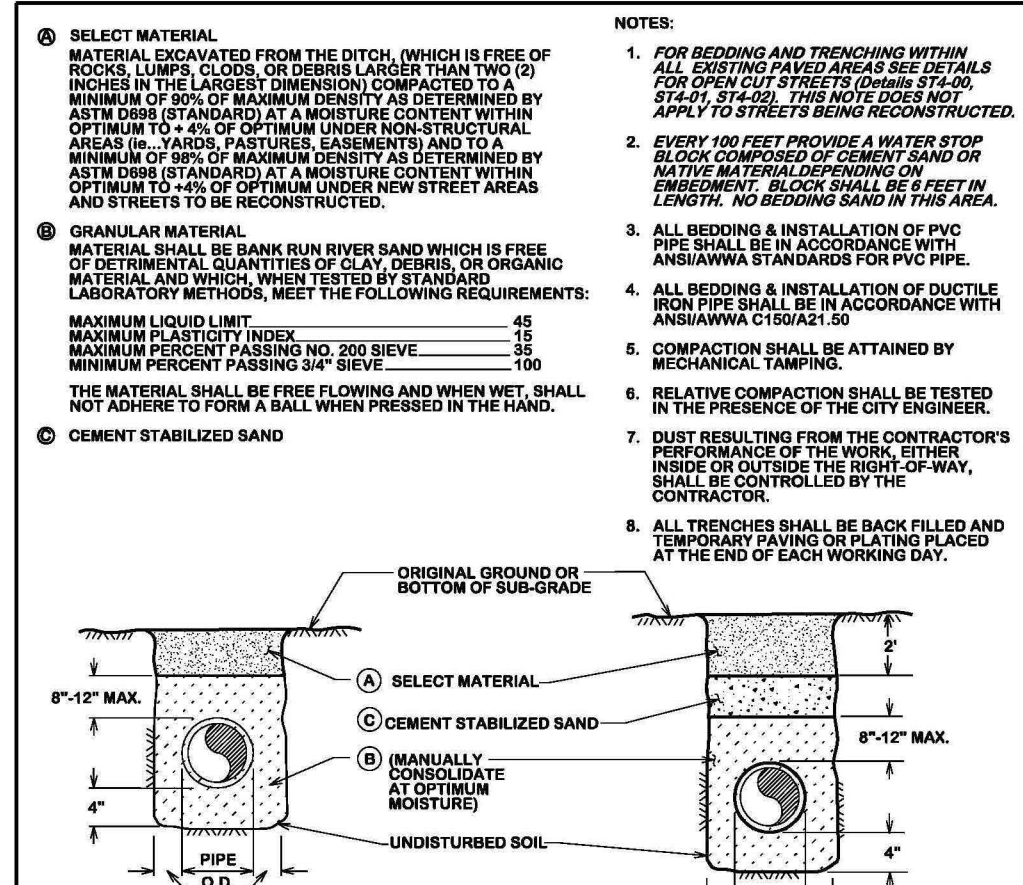
TYPICAL HORIZONTAL THRUST BLOCK

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	W2-00



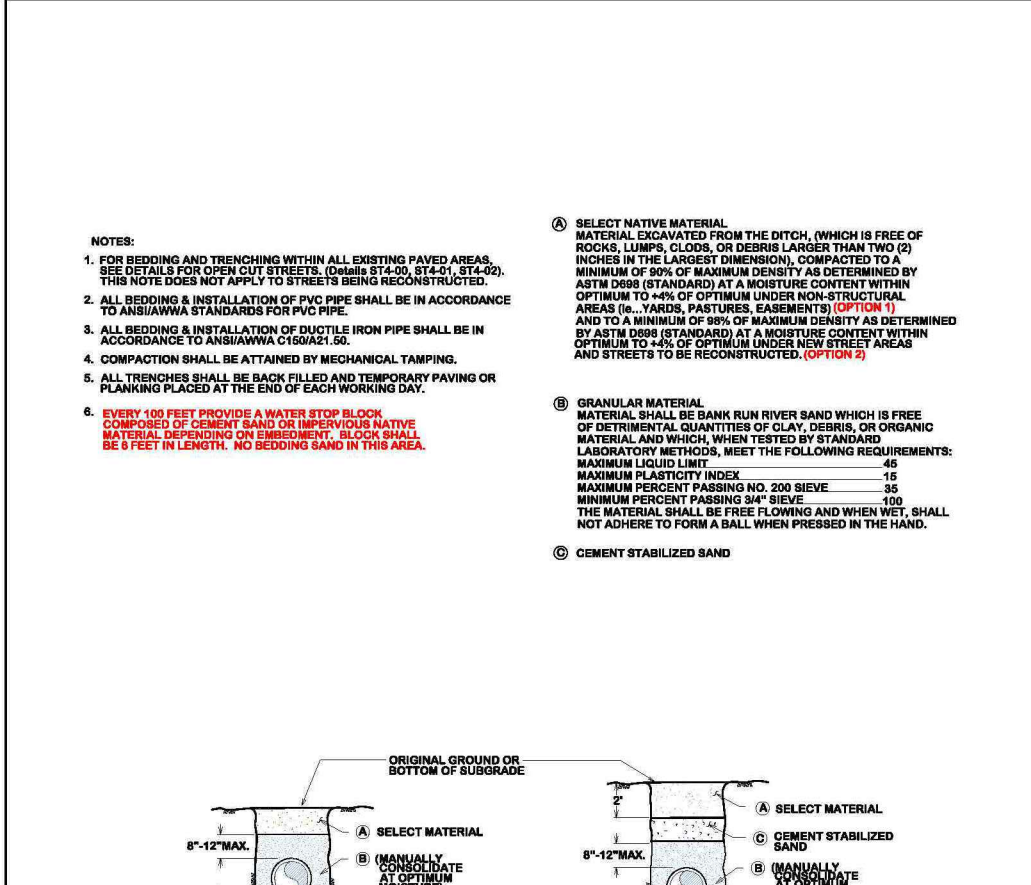
STRUCTURAL BACKFILL AREA FOR WATER MAIN

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	W2-02



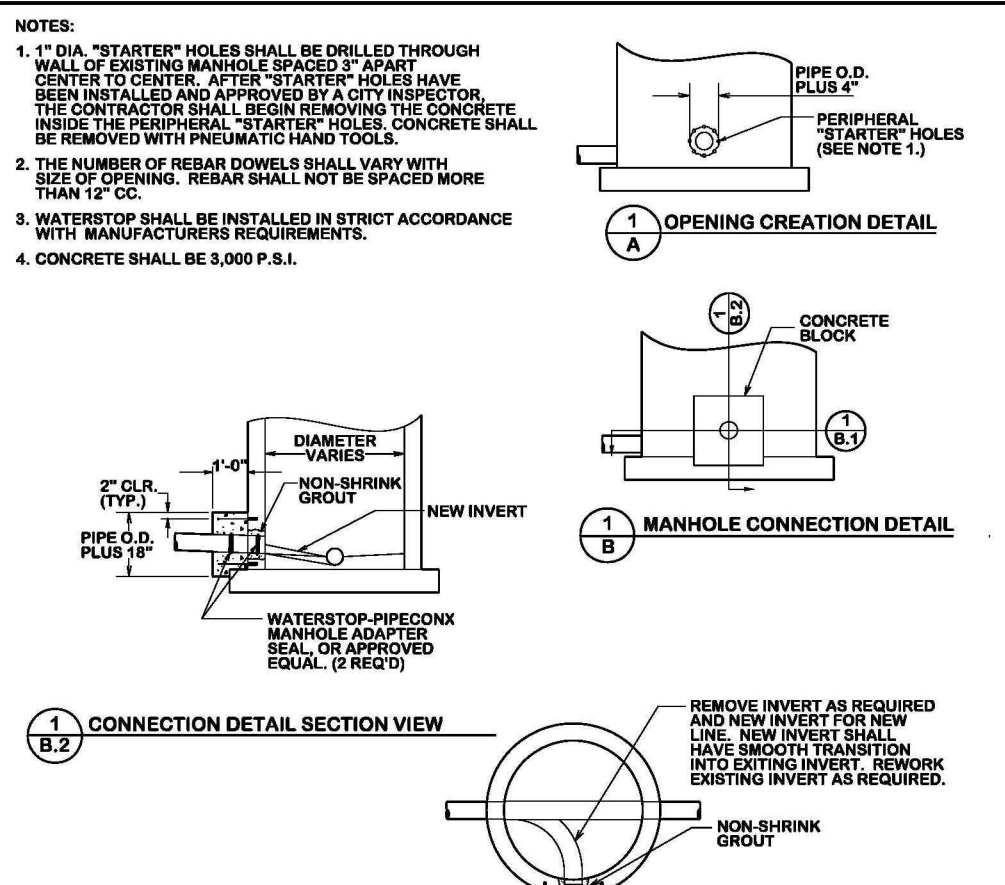
BEDDING AND TRENCH FOR DI PIPE & PVC PIPE WITHIN NON-STRUCTURAL OR NEW PAVED AREAS

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	W4-02



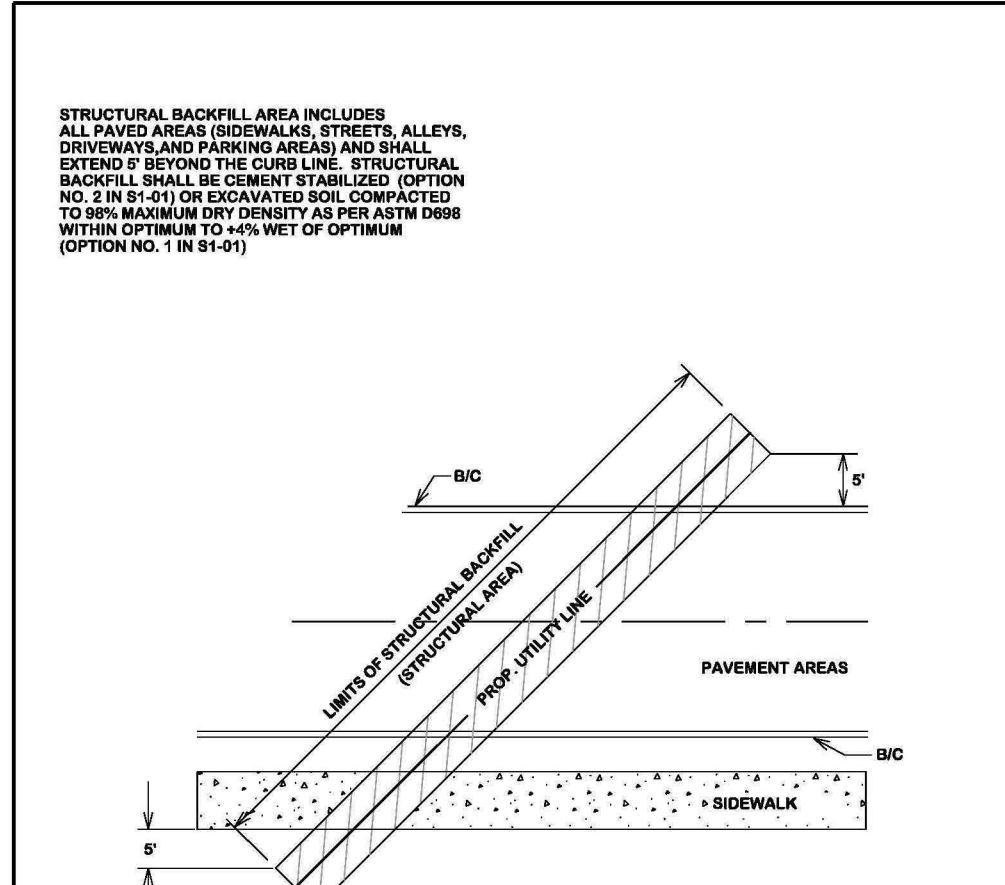
BEDDING AND TRENCH FOR DI PIPE & PVC PIPE

DATE	BICS UNIFIED	DETAIL NO.
FEB. 2021	STANDARD DETAIL	S1-01



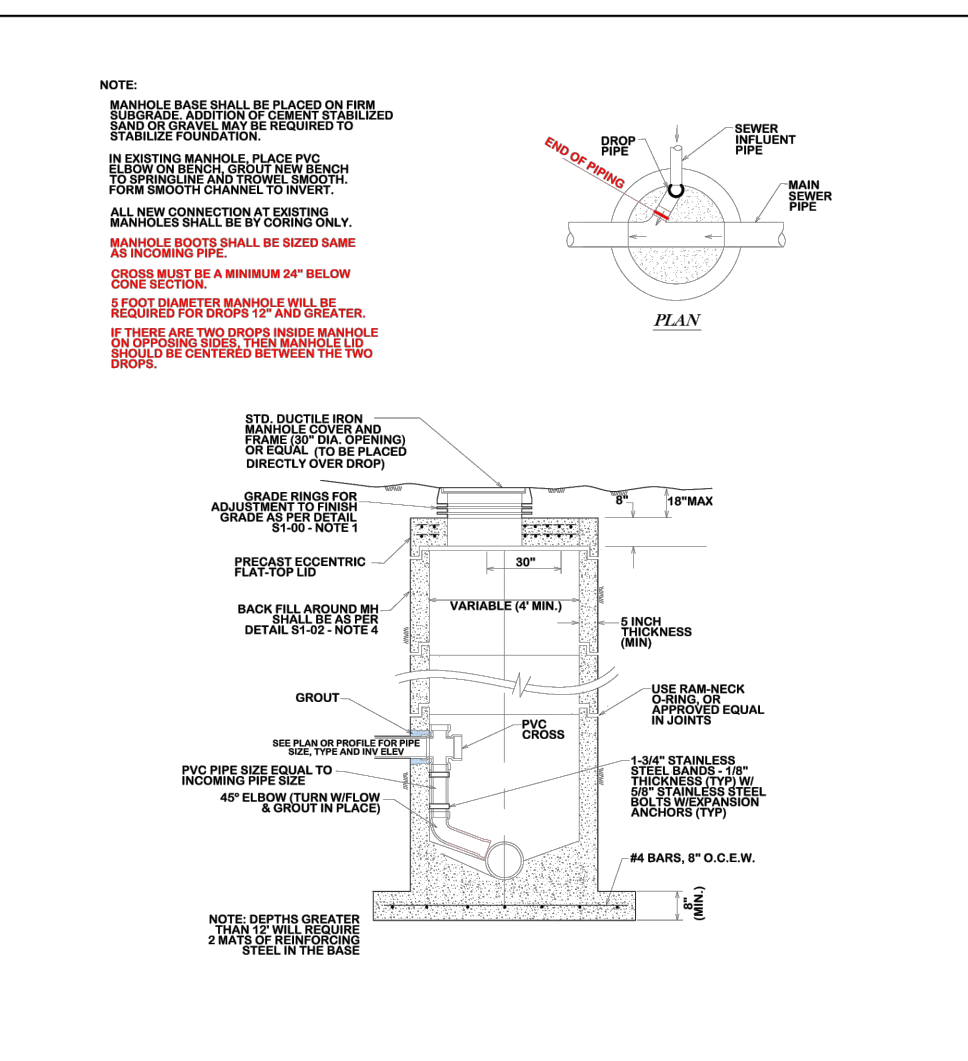
STANDARD MANHOLE TIE-IN

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	S3-01



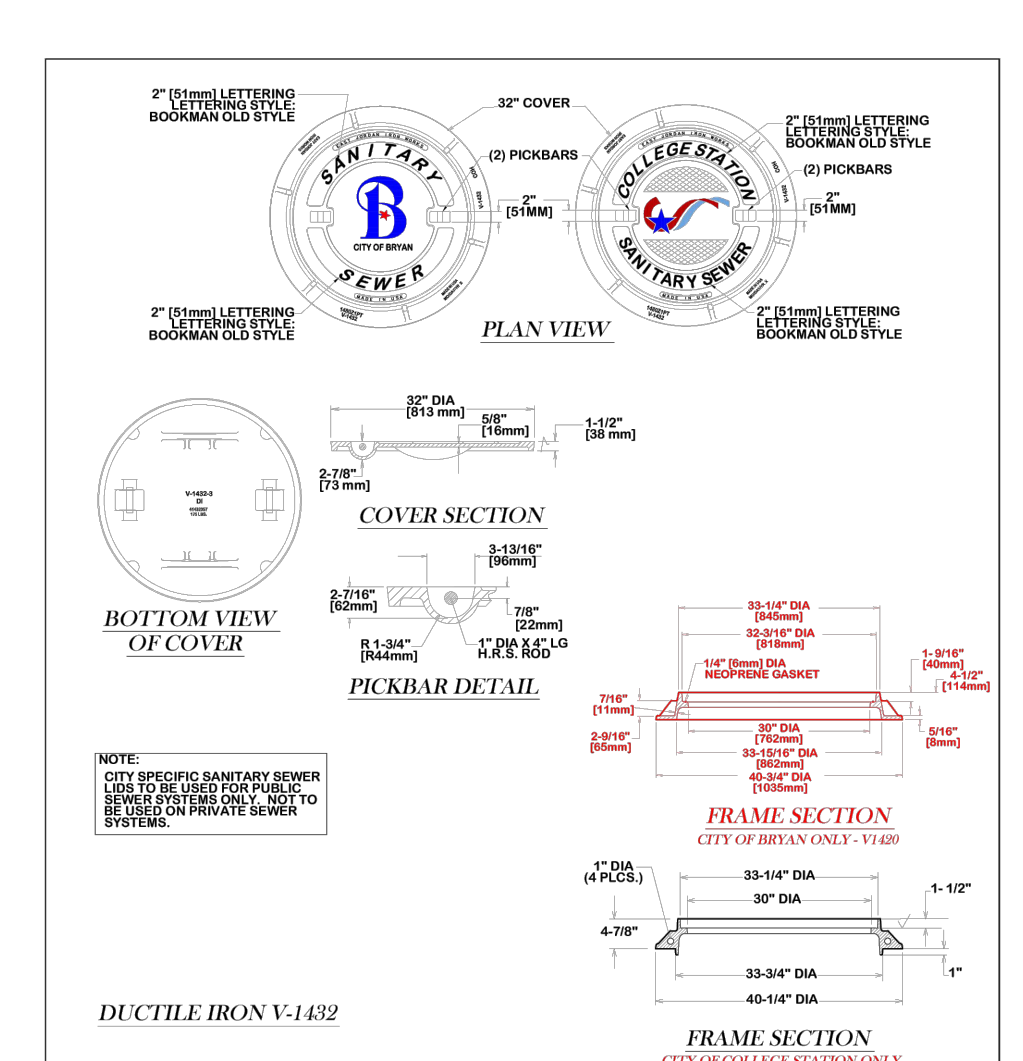
STRUCTURAL BACKFILL AREA FOR SEWER MAIN

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	S5-00



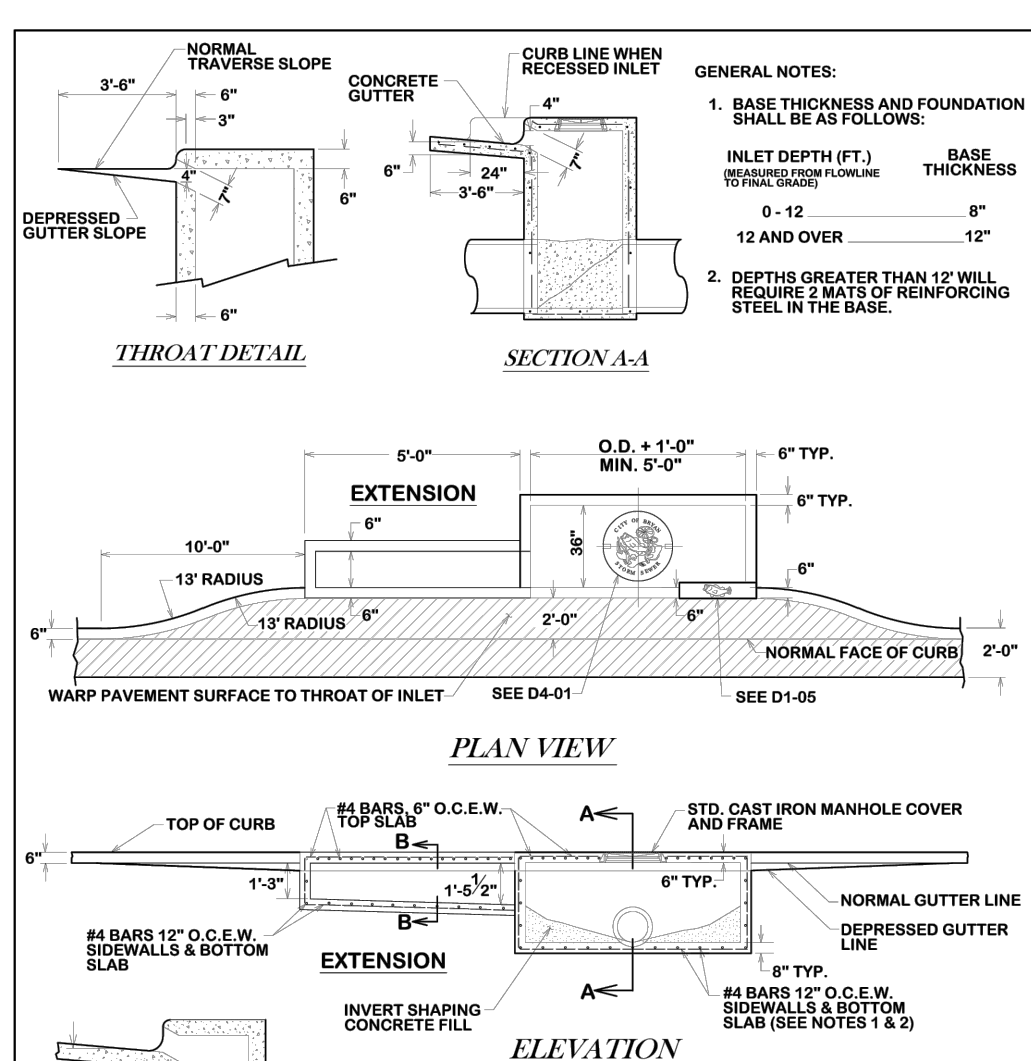
STANDARD DROP MANHOLE

DATE	BICS UNIFIED	DETAIL NO.
DECEMBER 2020	STANDARD DETAIL	S2-02



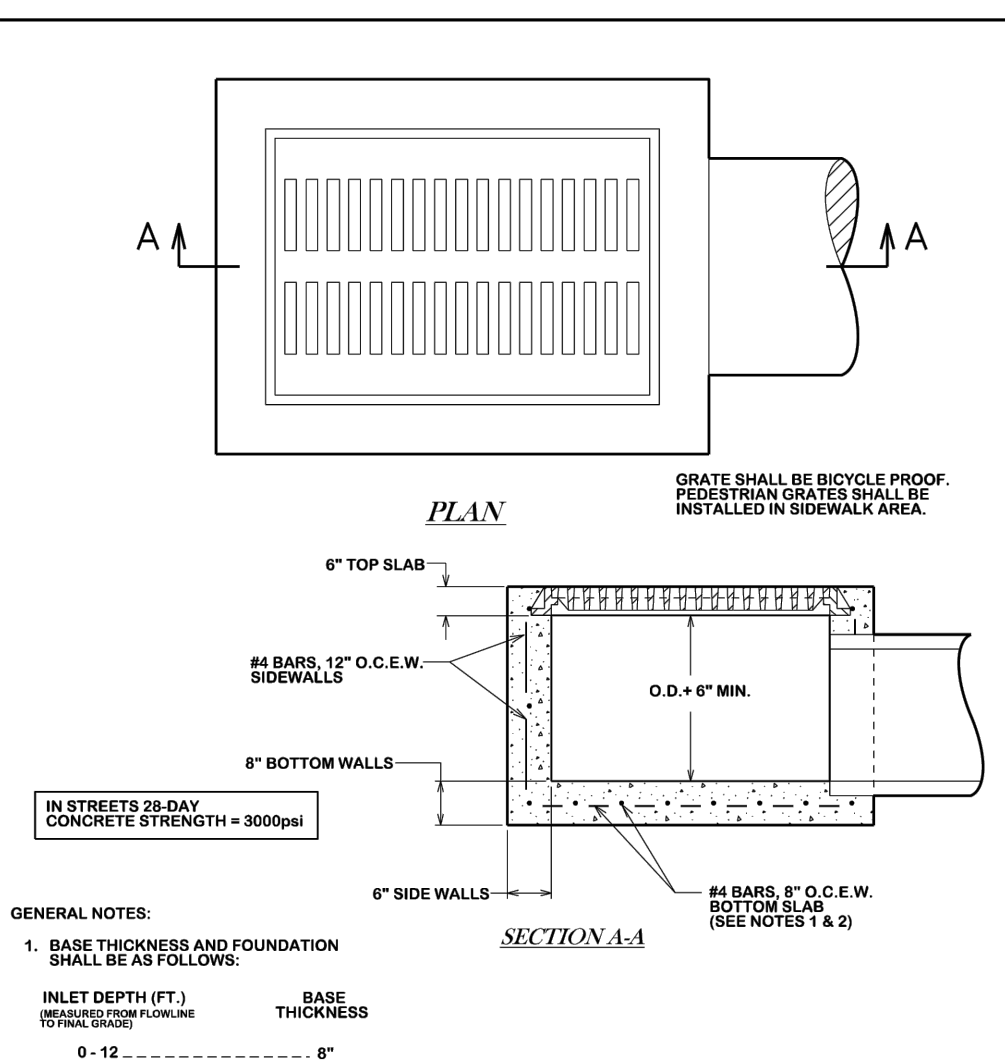
STANDARD MANHOLE RING AND COVER

DATE	BICS UNIFIED	DETAIL NO.
JULY 2022	STANDARD DETAIL	S4-01



SINGLE RECESSED CURB INLET & CURB INLET W/EXTENSION

DATE	BICS UNIFIED	DETAIL NO.
DECEMBER 2020	STANDARD DETAIL	D1-00



GRATE INLET

DATE	BICS UNIFIED	DETAIL NO.
AUG. 2012	STANDARD DETAIL	D1-03

MITCHELL MORGAN
T.979.260.6963
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3204 EARL RUDDER FWY. S. COLLEGE STATION, TX 77845
PLANNING & DESIGN SPECIALISTS IN CIVIL ENGINEERING, HYDRAULICS, HYDROLOGY, UTILITIES, STREETS, SITE PLANS, SUBDIVISIONS
www.mitchellandmorgan.com

STATE OF TEXAS
JAMES T. BATHENHORST
93631
LICENSED PROFESSIONAL ENGINEER
on Feb. 26, 2024
FEBRUARY 2023
Drawn By: JB, WT, SB
Checked By: JB

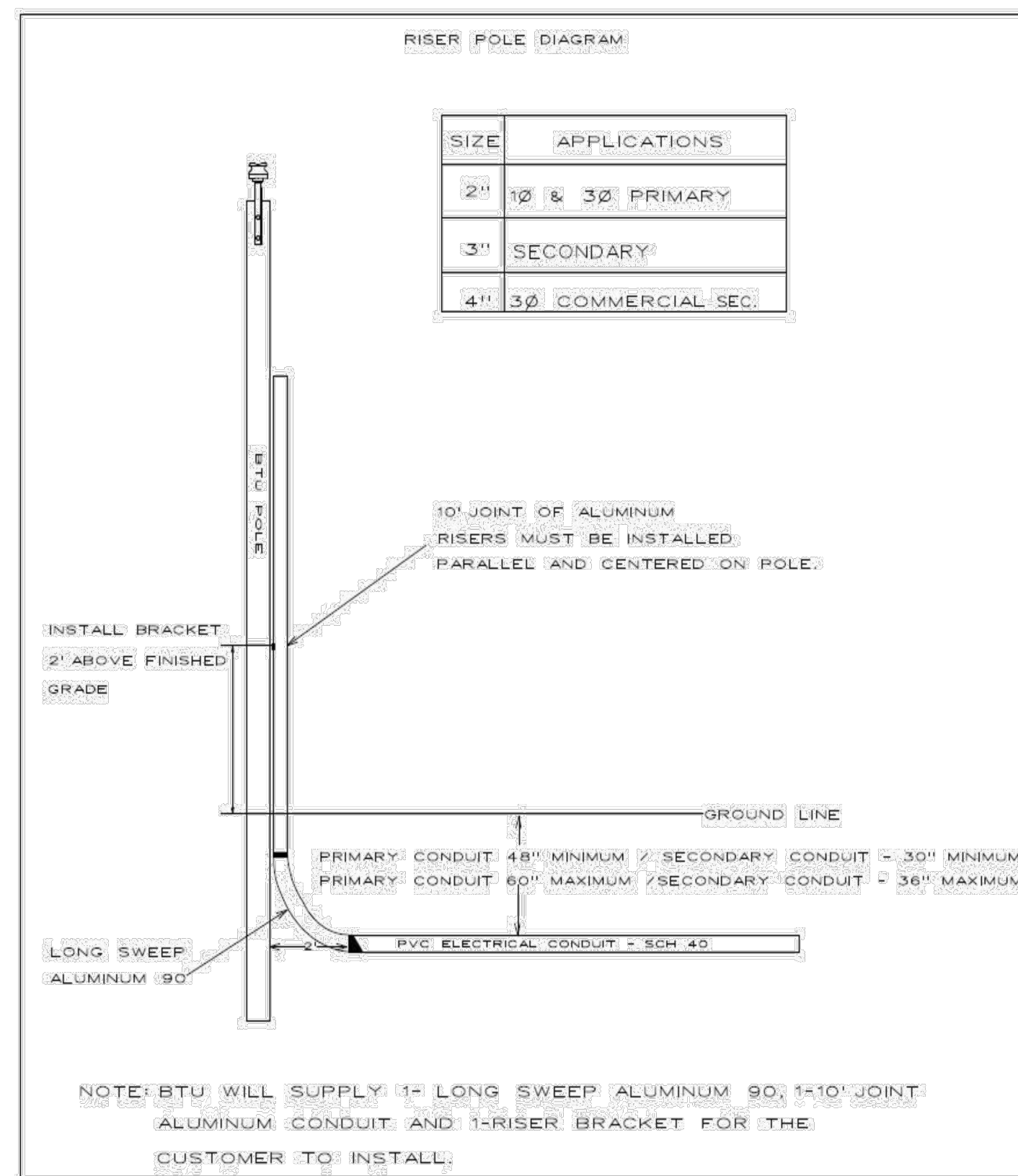
Prepared For:
PVD Development Co., LLC
5222 Enchanted Oaks Dr.
College Station, TX 77845
(979) 225-3222
S.484 AC LOT 3, BLK 1 of the
PVD DEVELOPMENT SUBDIVISION

Revisions

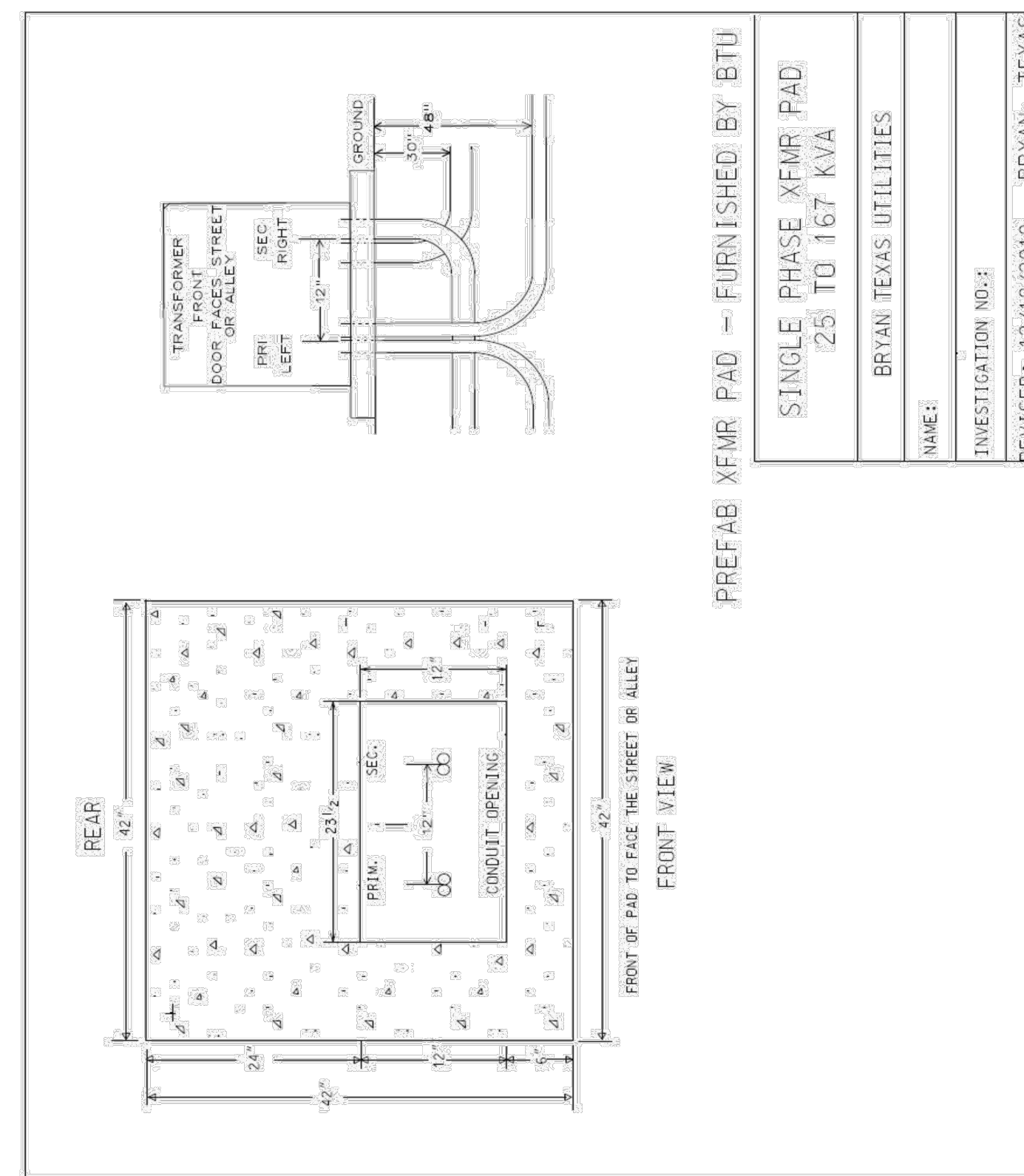
MISCELLANEOUS DETAILS
PHASE 5 - COMMERCIAL BUILDING
SH30 - BRYAN

MD1

P. Riser Diagram for as Primary or Secondary Installations Attached to a Pole



J. BTU Transformer Specification for Single Phase Transformer Pad



B. General Specifications for Developer Installed Conduit

- Ditch Line** – On all underground installations BTU will allow a shared ditch line with dry utilities only (Cable TV, Telephone). Refer to section V (E&F) for installation. BTU does not allow any type of public or private wet utilities (Sewer, Water, or Gas) installed in the same ditch with any BTU owned electrical line.
- Conduit and Elbows** – All conduit used shall be minimum schedule 40 grey electrical PVC. All conduits shall be properly glued at all couplings and joints.

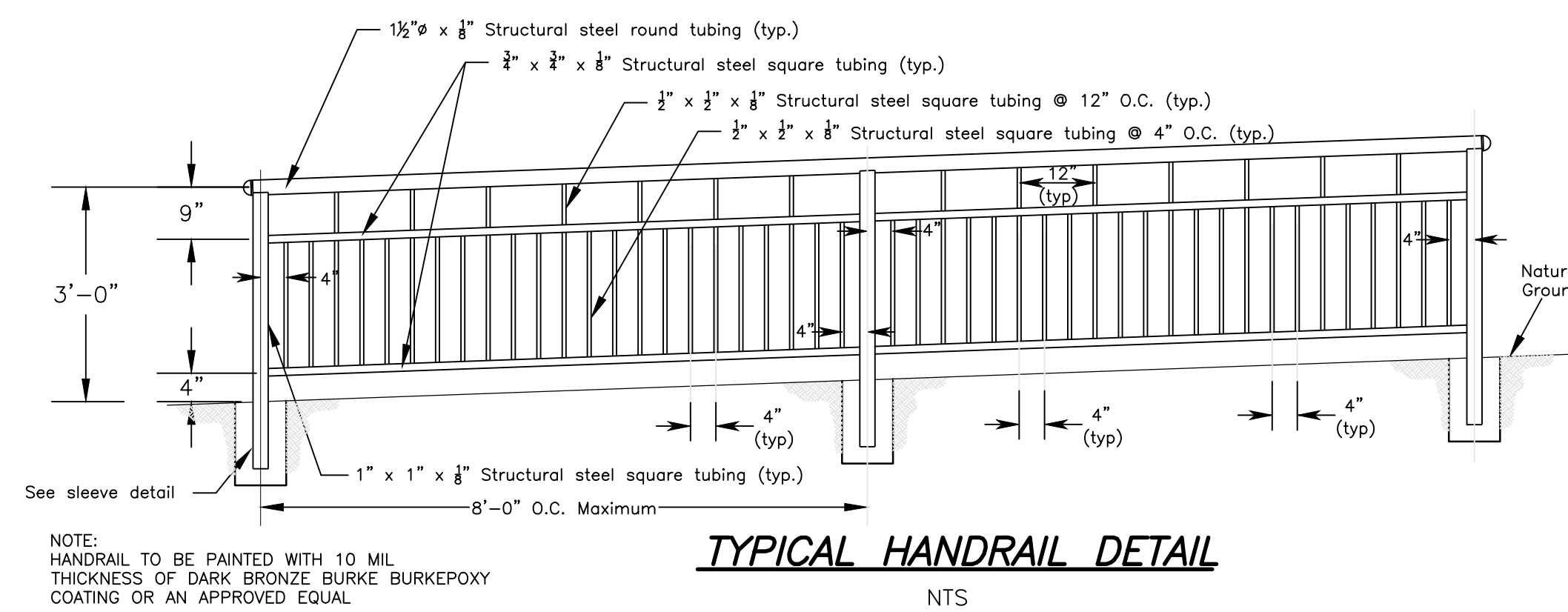
Description	600A Primary	200A Primary	Secondary to Pedestal	Service to Meter	Streetlight
Conduit Size/Type	4" PVC	2" PVC	3" PVC	3" PVC (See Notes 2 & 4)	2" PVC
Elbow Type	Aluminum wrapped with Scotchrap™ 50 (See Note 3)	PVC (See Note 1)	PVC	PVC	PVC
Elbow radius	42"	36"	12"	12"	9"
Maximum Wire Pull Lengths	500'	700'	150'	200'	300'

NOTE 1: All primary runs in excess of 300' and with (3) or more 90 degree elbows OR all runs in excess of 500' shall have aluminum elbows installed at all ditch line elbow locations and at all equipment locations.

NOTE 2: Single phase services larger than 320 amps and three phase services may require larger PVC conduit to be installed. Consult with BTU Line Design on these installations. Combined lengths of service and secondary to any meter shall not exceed 200 feet.

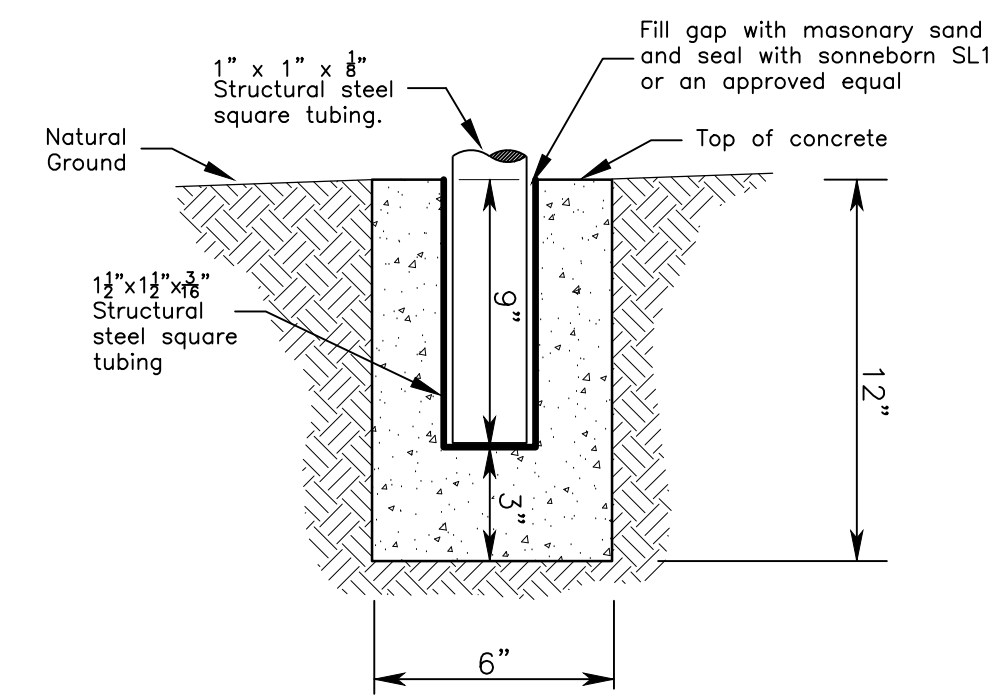
NOTE 3: Information on Scotchrap™ 50 can be found at <https://www.3m.com/>

NOTE 4: All primary and secondary stub outs shall be extended a minimum of 10' from transformer or pedestal. End of stub out shall be marked with a 6" x 6" T-Post painted red to denote electric.



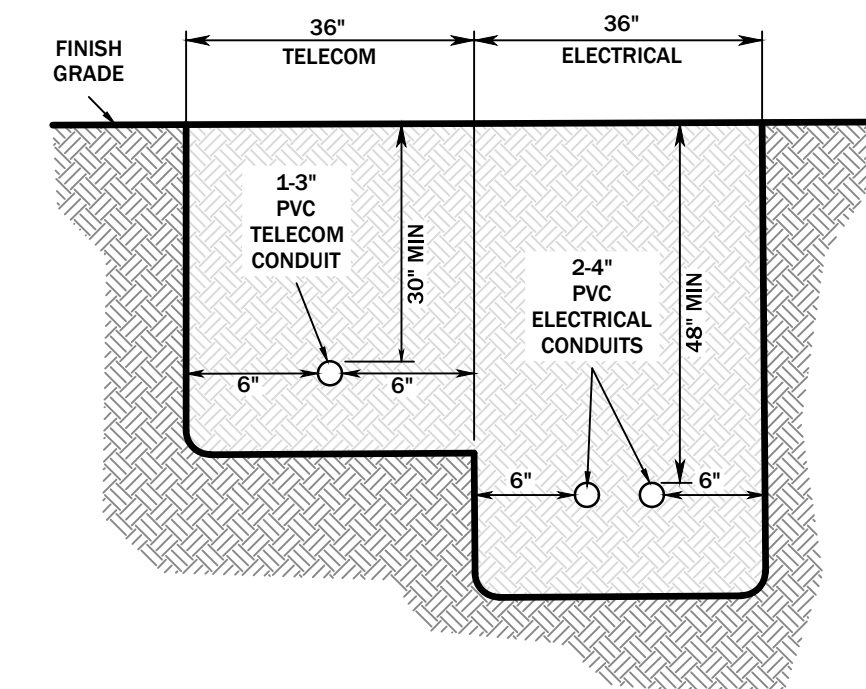
TYPICAL HANDRAIL DETAIL

NTS



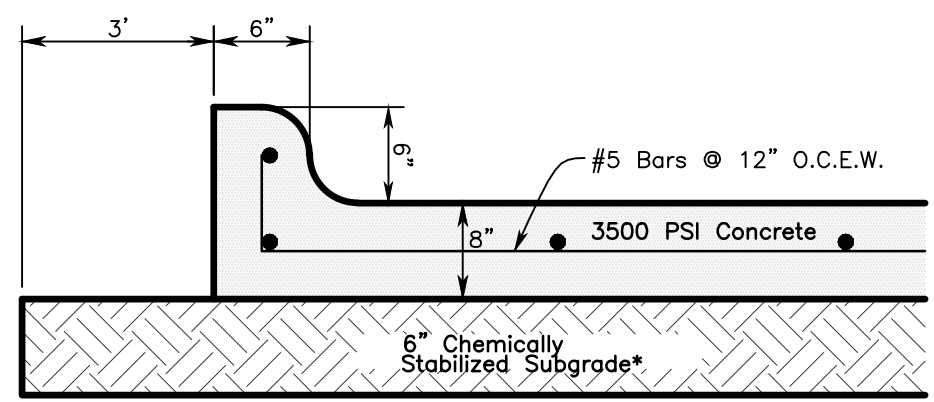
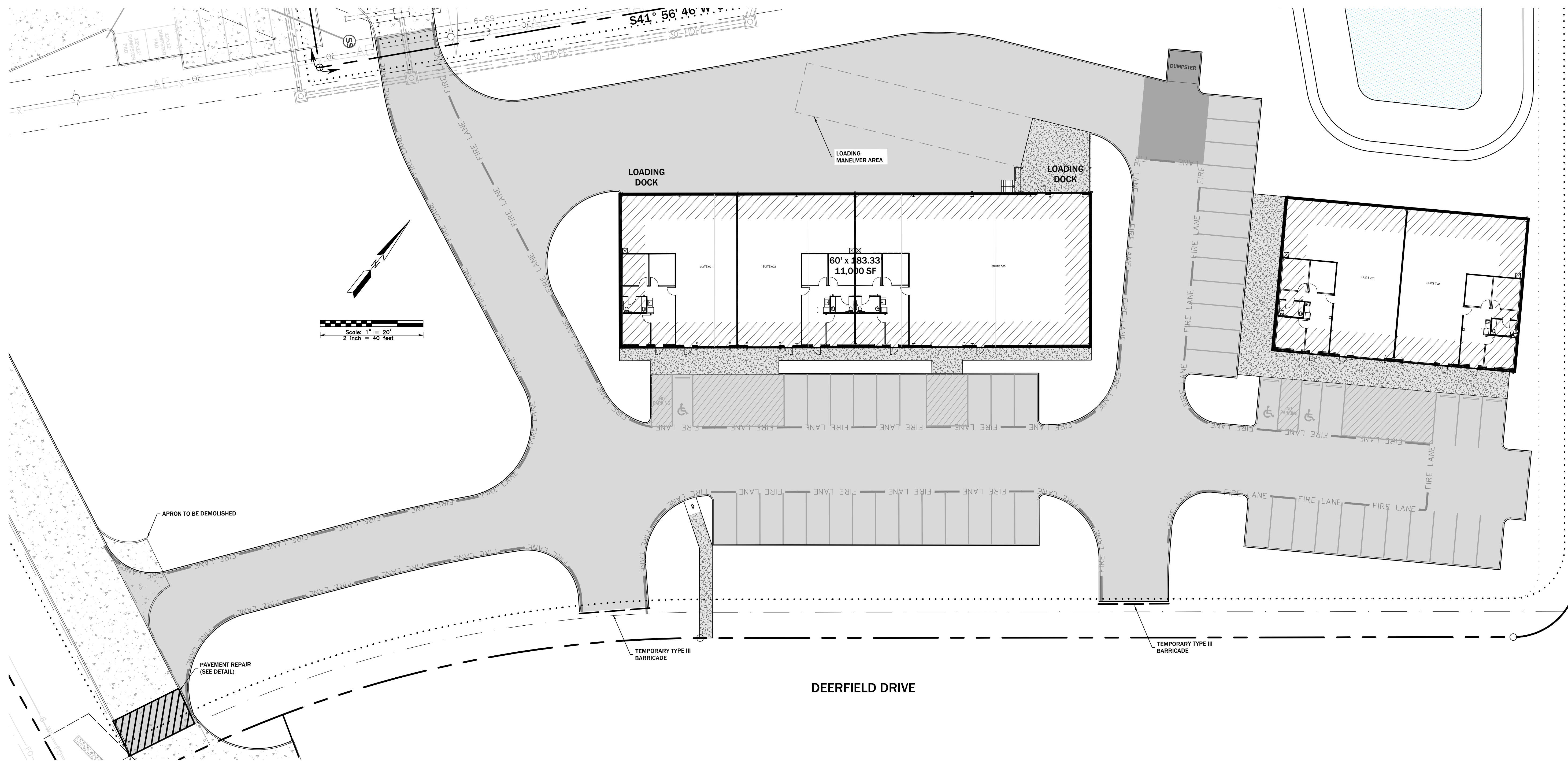
SLEEVE DETAIL

NTS



PROPOSED TRENCH DETAIL FOR UNDERGROUND DRY UTILITIES

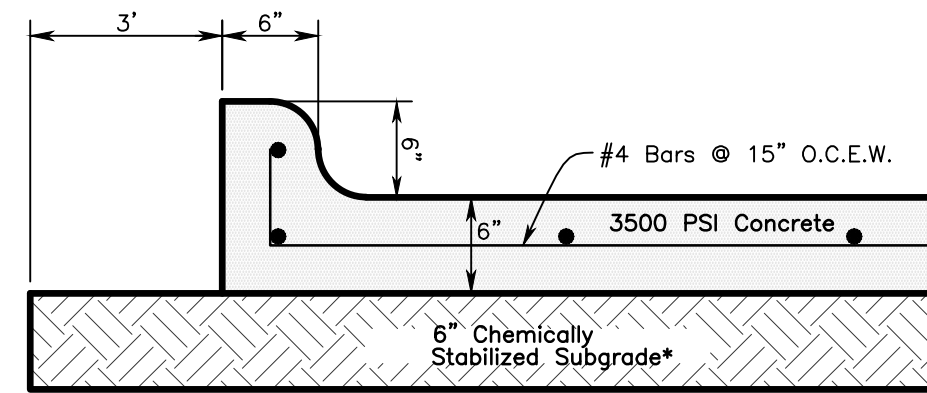
N.T.S.



HEAVY DUTY CONCRETE PAVEMENT DETAIL

Expansion Joints @ 60' o.c.
Contracting Joints @ 15' o.c.

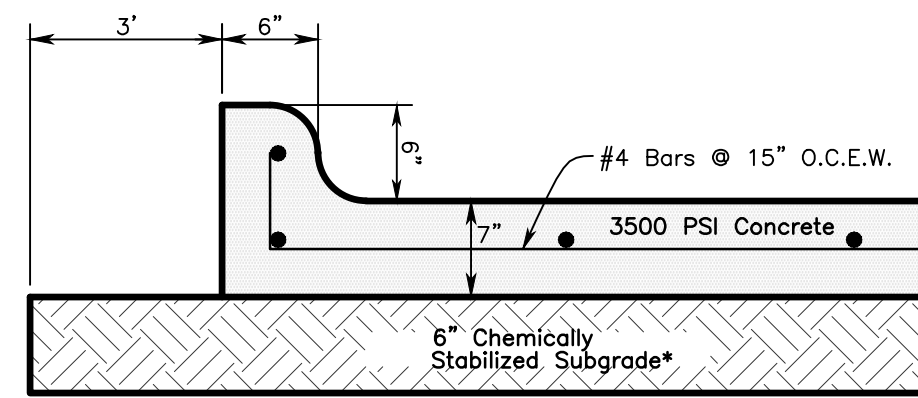
* LIME OR CEMENT AS DETERMINED FROM THE GEOTECHNICAL REPORT.



STANDARD CONCRETE PAVEMENT DETAIL

Expansion Joints @ 60' o.c.
Contracting Joints @ 15' o.c.

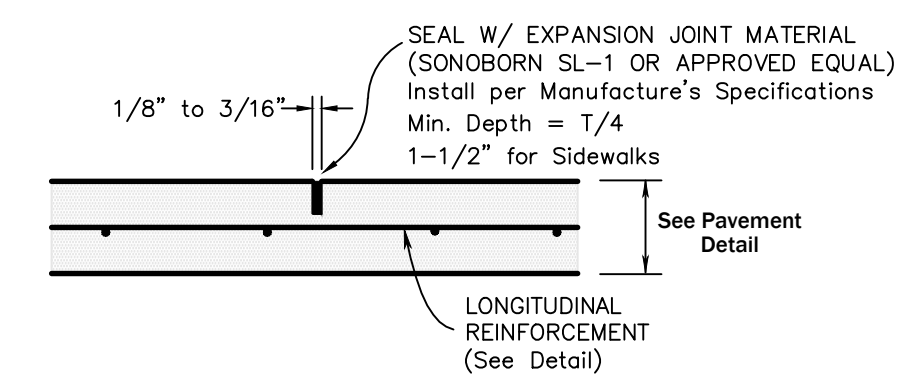
* LIME OR CEMENT AS DETERMINED FROM THE GEOTECHNICAL REPORT.



PAVEMENT REPAIR DETAIL

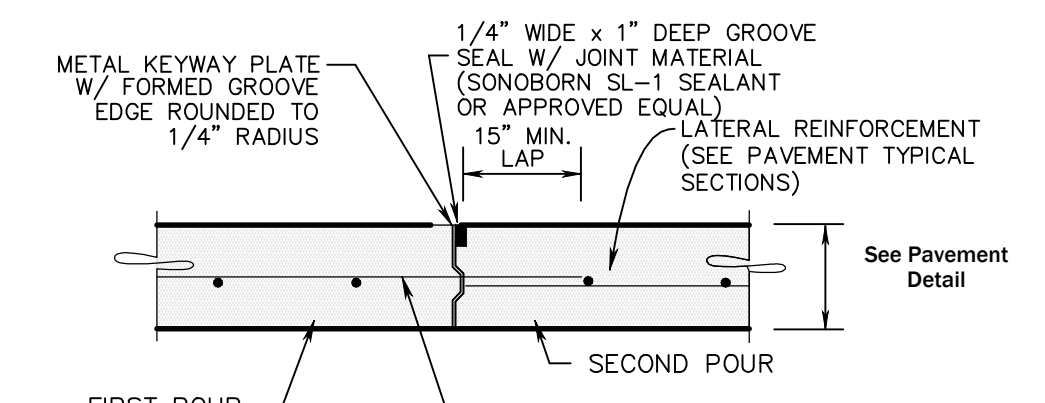
Expansion Joints @ 60' o.c.
Contracting Joints @ 15' o.c.

* LIME OR CEMENT AS DETERMINED FROM THE GEOTECHNICAL REPORT.



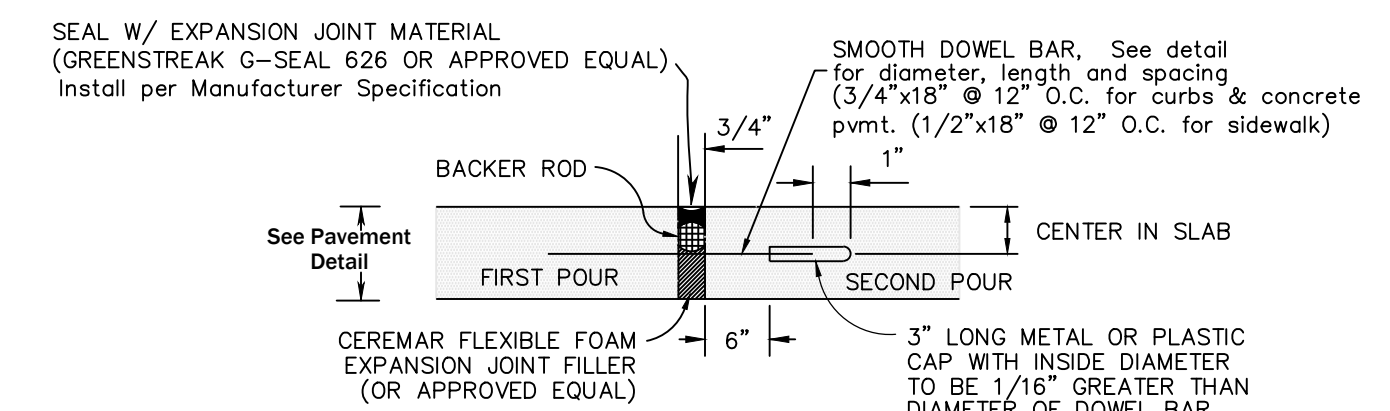
CONTRACTION JOINT

(15' MAX. SPACING UNLESS OTHERWISE INDICATED IN PLANS)



LONGITUDINAL JOINT

LONGITUDINAL JOINT SHALL BE REQUIRED AT THE STREET CENTERLINE

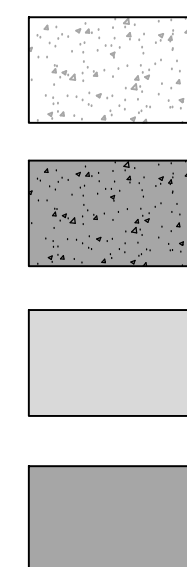


EXPANSION JOINT

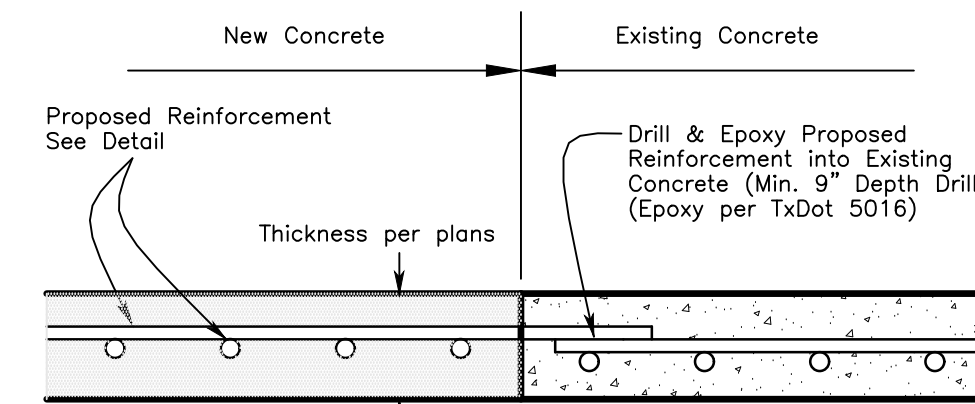
(60' MAX. SPACING UNLESS OTHERWISE INDICATED IN PLANS)

NOTE:

- ISOLATION JOINS SHALL BE PLACED BETWEEN THE PAVEMENT AND ALL EXISTING AND PROPOSED PERMANENT STRUCTURES (SUCH AS MANHOLES AND DRAINAGE INLETS).
- ALL JOINTS SHALL BE SEALED WITH SONNEBORN SONOLASTIC (SL-1) OR EQUIVALENT.



- EXISTING PAVEMENT
- SIDEWALK/LOADING CONCRETE
- STANDARD PAVEMENT
- HEAVY DUTY PAVEMENT



CONNECT TO EXISTING CONCRETE DETAIL

NTS
FILENAME: connect-to-existing-concrete.dwg
PLOTTED: 24 Nov 2020 - 16:22 am

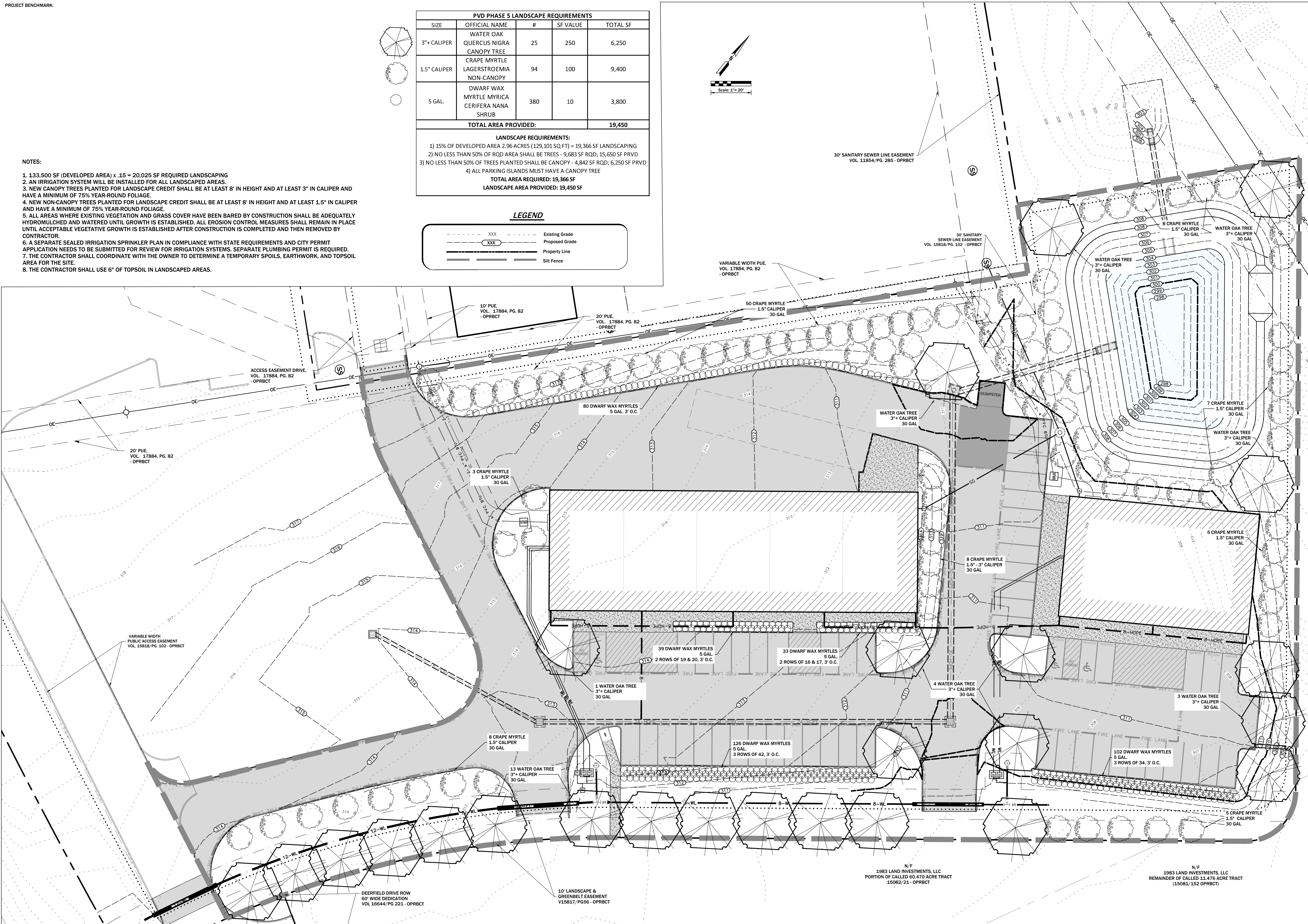
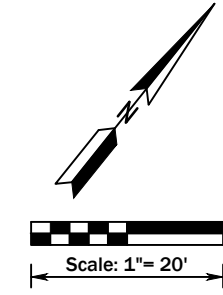
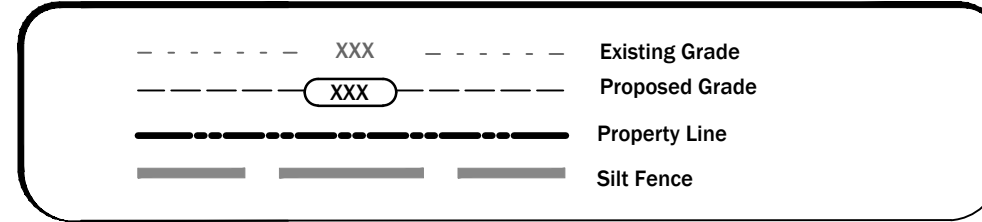
PVD PHASE 5 LANDSCAPE REQUIREMENTS				
SIZE	OFFICIAL NAME	#	SF VALUE	TOTAL SF
3"+ CALIPER	WATER OAK QUERCUS NIGRA CANOPY TREE	25	250	6,250
1.5" CALIPER	CRAPE MYRTLE LAGERSTROEMIA NON-CANOPY	94	100	9,400
5 GAL.	DWARF WAX MYRTLE MYRICA CERIFERA NANA SHRUB	380	10	3,800
TOTAL AREA PROVIDED:				19,450

LANDSCAPE REQUIREMENTS:
 1) 15% OF DEVELOPED AREA 2.95 ACRES (129,101 SQ FT) = 19,366 SF LANDSCAPING
 2) NO LESS THAN 50% OF RQD AREA SHALL BE TREES - 9,683 SF RQD; 15,650 SF PRVD
 3) NO LESS THAN 50% OF TREES PLANTED SHALL BE CANOPY - 4,842 SF RQD; 6,250 SF PRVD
 4) ALL PARKING ISLANDS MUST HAVE A CANOPY TREE
TOTAL AREA REQUIRED: 19,366 SF
LANDSCAPE AREA PROVIDED: 19,450 SF

NOTES:

- 133,500 SF (DEVELOPED AREA) x .15 = 20,025 SF REQUIRED LANDSCAPING
- AN IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL LANDSCAPED AREAS.
- NEW CANOPY TREES PLANTED FOR LANDSCAPE CREDIT SHALL BE AT LEAST 8' IN HEIGHT AND AT LEAST 3" IN CALIPER AND HAVE A MINIMUM OF 75% YEAR-ROUND FOLIAGE.
- NEW NON-CANOPY TREES PLANTED FOR LANDSCAPE CREDIT SHALL BE AT LEAST 8' IN HEIGHT AND AT LEAST 1.5" IN CALIPER AND HAVE A MINIMUM OF 75% YEAR-ROUND FOLIAGE.
- ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETED AND THEN REMOVED BY CONTRACTOR.
- A SEPARATE SEALED IRRIGATION SPRINKLER PLAN IN COMPLIANCE WITH STATE REQUIREMENTS AND CITY PERMIT APPLICATION NEEDS TO BE SUBMITTED FOR REVIEW FOR IRRIGATION SYSTEMS. SEPARATE PLUMBING PERMIT IS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE A TEMPORARY SPOILS, EARTHWORK, AND TOPSOIL AREA FOR THE SITE.
- THE CONTRACTOR SHALL USE 6" OF TOPSOIL IN LANDSCAPED AREAS.

LEGEND



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CIVIL ENGINEERING HYDRAULICS
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JAMES T. BATENHORST
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LICENSED PROFESSIONAL ENGINEER
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FEBRUARY 2023
Drawn By: J.S. SF
Checked By: VJBR

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5.484 AC LOT 3, BLK 1 of the
PVD DEVELOPMENT SUBDIVISION

Revisions

LANDSCAPE PLAN
PHASE 5 - COMMERCIAL BUILDING
SH30 - BRYAN

LP